

To: Sarah Martin Smith (Planner) smartin@huroncounty.ca

& planning@southhuron.ca

R3 section 21 residential-High Density page 151

Applies to : all areas subject to the proposed by-law. Larger settlement areas.

Suggestion to permit greater building heights that attract consideration from Highrise constructors.

General comments :

1. There is a recent movement to build the lower levels of the structure for vehicle parking on sites where there are adjacent buildings or limitations with site ability to provide surface parking.
2. Outdoor two storey parking structures can be subject to seasonal disadvantages and environmental conditions affecting service life and maintenance costs. A parking structure below apartment units have built-in longevity and weather protection.
3. There is an economy in building up instead of digging expensive holes that may require excavation shoring, special engineering, construction period de-watering and long term below grade waterproofing concerns.
4. I would suggest, it is not as important to set an arbitrary height limit. Each site would have to address the effects of shadowing and viewing restrictions on its own merits.
5. A reference to habitable floors may prove useful and sufficient latitude to mechanical services, parking level(s) and storage units would yield favourable results as may be applied by a concerned builder or developer.
6. A developer could opt to purchase or utilize a larger site and achieve economy with height. This could affect concerns of the aspect of natural light shadowing on adjacent properties. Build higher and allow greater distance could be a practical solution. This building approach may provide superior amenities to residents/owners from the economy of scale.
7. If the municipality sees benefits in providing denser multi-floor apartments, council could give it a chance to be a good solution, done well.

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HIGH DENSITY RES.

R3	Municipality of South Huron Zoning By-law Section 21 Residential – High Density	R3
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area is not required for each dwelling unit in a multiple attached dwelling for properties zoned R3-6.

GO 6 STOREY APT. BLOCK!!
MINIMUM

Where a R3-6 zone abuts a General Industrial (M2) or a Restricted Industrial (M1) zone, a berm as defined in the next paragraph, shall be provided along the property line abutting the industrial zone.

ATTRACT A PROFESSIONAL
HIGH RISE BUILDER!

For the purposes of the R3-6 zone, a berm shall consist of an area of raised ground, a minimum height of 1 metre and with a maximum slope of 2 to 1 and minimum slope of 3 to 1.

21.9.7. R3-7 (as per By-law 68-2009)

Notwithstanding the provisions of the South Huron Zoning By-law, to the contrary, the following special zone provisions shall apply to the lands zoned R3-7:

21.9.7.1. Permitted Uses

No person shall, within the R3-7 zone use any property or erect, alter or use any building or structure for any purpose except 1 or more of the following uses:

- multiple attached dwelling not exceeding 6 units per dwelling;
- landscape open space; and
- accessory structures shall be limited to 1 pond, 1 gazebo, bridge, park benches, mailboxes and entrance signs.

21.9.7.2. Zone Provisions

Property area (minimum)	3.6 hectares
Property coverage (minimum)	45 % for all structures
Landscaped open space (minimum)	15 %

21.9.7.3. Site Regulations

Site area (minimum)	250 square metres per dwelling unit
Height (maximum)	Main building: 10 metres Accessory building: 4.5 metres
Front yard setback (minimum)	6 metres
Rear yard setback (minimum)	8 metres
Interior side yard (minimum)	3 metres, with 6 metres between end walls of buildings
Exterior side yard (minimum)	6 metres
No side yard requirement where multiple attached dwelling units share a common wall;	
No part of a multiple attached dwelling shall be closer than 8 metres to the lands zoned R1.	

R3	Municipality of South Huron Zoning By-law Section 21 Residential – High Density	R3
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21.9.7.4. Yard Requirements

Notwithstanding provisions in Section 21 to the contrary, the following yard requirements shall apply to the lands zoned R3-7:

- a) The private outdoor amenity area shall have a minimum yard depth of 8 metres within which a privacy zone of 3 metres shall be provided.
- b) The minimum yard between an exterior wall (which is not an end wall) containing a living room window and a facing or parallel end wall with or without windows to habitable rooms shall be 15 metres.
- c) The minimum yard between 2 end walls facing and parallel to each other where either or both walls contain habitable room windows shall be 6 metres.

21.9.7.5. Planting Strip Requirements

Notwithstanding the Section 3 General Provisions for Planting Strips, a planting strip shall be provided on lands zoned R3-7 where they abut lands zoned R1.

Planting strips shall be constructed and maintained in accordance with the relevant provisions in Section 3 General Provisions.

21.9.7.6. Parking Requirements

Notwithstanding the parking requirement provisions of Section 3 General Provisions to the contrary, lands zoned R3-7 shall provide and maintain off-street parking spaces as follows:

- 1 space per dwelling unit
- Minimum of 22 visitor parking spaces

All other provisions of this By-law shall apply.

21.9.8. R3-8 (as per By-law 88-2013)

The following zone provisions shall apply to the lands zoned R3-8:

- a) Notwithstanding the Zone Provisions of the Residential - High Density Zone (R3) in Section 21 to the contrary, the minimum property area in the R3-8 zone shall be 3,425 sq. m. for an apartment building that includes a maximum of 23 units.
- b) Notwithstanding the Zone Provisions of the Residential - High Density Zone (R3) in Section 21 to the contrary, the minimum yard abutting an Institutional zone shall not be less than 6.35 metres.
- c) Notwithstanding the parking requirement provisions of Section 3 General Provisions to the contrary, a parking space shall have a minimum width of 2.7 metres.

All other provisions of this By-law shall apply.

To : Sarah Martin Smith (Planner) smartin@huroncounty.ca

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Definitions section in the proposed by-law

Applies to : all areas subject to the proposed by-law.

General comments :

1. Northlander will offer additional observations and comments relating directly to the CSA standards.
2. see copies attached
3. Consider as industry input. Dwayne will be familiar with these CSA references.
4. Northlander will provide additional information on standards as they apply. Our factory/sales employees have presented to CBO and municipal representatives many times in the past and could be made available for a quick presentation.
5. We will continue to source and forward references to projects we are associated with as an industry supplier.

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ASR

Municipality of South Huron Zoning By-law
Section 2 Definitions

i) Group Home

A premises used to provide supervised living accommodation as per the requirements of its residents, licensed or funded under the Province of Ontario or Government of Canada legislation, for a maximum of 10 persons, exclusive of staff, living together in a single housekeeping unit.

j) Link Semi-Detached Dwelling

1 of a pair of 2 single attached dwellings attached below grade by a wall, each dwelling having an independent entrance directly from the outside.

- SKIRTED / PIERS
- SKIRTED / PAD
- FULL BASEMENT
- CRAWL SPACE

k) Modular Home

a pre-fabricated single detached dwelling designed to be transported once only to a final location and constructed so as the shortest side of such dwelling is not less than 6.0 metres in width. A modular home is built to the CSA A277 standard.

l) Mobile Home

a pre-fabricated dwelling unit occupied or designed for occupancy by 1 or more persons on a permanent basis, having a floor area of not less than 50 square metres designed to be towed on its own chassis (notwithstanding that its running gear is or may be removed), placed or designed to be placed on permanent foundations, constructed in conformity with CSA Z240 MH Series, and connected or designed to be connected to public utilities, but shall not include a travel trailer, park model trailer, tent trailer or a trailer otherwise designed.

19.68' →
FUNCTION OF O.B.C.
WORDING NEEDS TO BE IMPROVED WITHIN R5 ZONE BYLAW

ADDITIONS
2 or 3 pieces

m) Multiple Attached Dwelling

a building that is completely divided vertically into 3 or more dwelling units by a party wall of masonry construction, each dwelling unit having independent entrance directly from the outside.

n) Nursing Home Dwelling

Shall mean a nursing home as defined under the *Nursing Home Act*, as amended from time to time.

o) Park Model Trailer

a recreational unit that meets the following criteria:

- built on a single chassis mounted on wheels;
- designed to facilitate relocation from time to time;
- designed as living quarters for seasonal camping and may be connected to those utilities necessary for the operation of installed fixtures and appliances;
- has a floor area, including lofts, not exceeding 65 square metres and

LOFTS ARE REMOVED FROM CURRENT CSA BE STAMPING

50.2 m²

Municipality of South Huron Zoning By-law
Section 2 Definitions

- designed and constructed in accordance with CSA Z241 Series, Park Model Trailers.

ADDITIONS
ARE PERMITTED pg 129 RC2
16.12. ADDITIONS TO TRAILERS

p) **Quadruplex Dwelling**

the whole of a building originally designed for and divided into 4 separate dwelling units with at least 1 of the units on a second floor and each unit having an independent entrance either directly from the outside or through a common vestibule.

q) **Semi-Detached Dwelling**

a building that is completely divided vertically into 2 dwelling units by a common wall, each dwelling unit having an independent entrance directly from the outside.

r) **Triplex Dwelling**

the whole of a building originally designed for and divided into 3 separate dwelling units with at least 1 of the units on a second floor and each unit having an independent entrance either directly from the outside or through a common vestibule.

s) **Second Unit**

an accessory dwelling unit with its own kitchen, sanitary facilities and bedroom(s)/sleeping area in a single detached dwelling, semi-detached dwelling, or multiple attached dwelling or accessory structure.

Dwelling Unit

one or more habitable rooms constituting self-contained living quarters for use of 1 or more individuals including the provision of kitchen and sanitary facilities and sleeping accommodation for the exclusive use of such individual or individuals, and having a private entrance from outside the building or from a common hallway or stairway inside the building.

Easement

a right to use another person's land for a specified purpose.

Equipment Sales and Rental

a building or part of a building or structure in which heavy machinery equipment is offered for sale or kept for rent, lease or hire under agreement for compensation, but not any other establishment defined or classified in this By-law.

uses ancillary to the main use. The total floor area in each zone applies only to that portion of such property that is located within said zone.

Trailer

a trailer for the transport of vehicles, equipment and materials.

Trailer and Tent Park

any land upon which overnight, short term or seasonal accommodation for 2 or more tents, travel trailers or park model trailers are used or intended to be used for human occupation, which shall not include permanent year-round human occupation of permitted tents or trailers, and includes on-site ancillary commercial, laundry, social, and recreational facilities.

DOES THIS NAME MATCH PROPERLY WITH
16. RECREATIONAL TRAILER PARK AND CAMPGROUND (RC2) PG 128

WHAT ABOUT
YURTS?

Travel trailer

a structure or vehicle designed, intended and used exclusively for the temporary or seasonal living, sleeping or eating accommodation for persons therein during travel, recreation and vacation and which is either capable of being drawn by a passenger vehicle or is self-propelled and shall include tent trailers, vans, motor homes and similar transportable accommodation but not a mobile home. Travel trailers that are not self-propelled are built to CSA Z240 RV Series specifications.

Truck Transport Terminal

a building, structure, or property used for the parking, repairing or dispatching of commercial motor vehicles or trailers, as defined by the Highway Traffic Act.

Usable Open Space

an area of land suitable for landscaping, including any area occupied by recreational accessory buildings, a surfaced walk, patio or similar area, a sports or recreational area, an ornamental or swimming pool, and the roof or other part of a building or structure open to the air and suitable for landscaping and used as a recreational area but excluding any driveway or ramp, whether surfaced or not, as well as any curb, retaining wall, motor vehicle parking area, or loading space.

Use, Used, Uses, or To Use

the purpose for which any land, building, structure, or premises, or part thereof, is arranged, designed or intended to be used, or is or may be occupied or maintained.

Utility Service Building

a building used in connection with the supplying of local utilities services including a water or sewage pumping station, a water storage reservoir, a gas regulator building, an electrical sub-station, a telephone building for exchange, long distance or repeater

Minimum Distance Separation (MDS) Formulae

a tool to determine the required distance for new development from existing livestock facilities or for a new or expanding livestock facility from an existing use or proposed development as determined by the Minimum Distance Separation (MDS) Formulae approved by the Province of Ontario (as amended from time to time) and includes any MDS Implementation Guidelines issued by the Province.

Mixed Commercial/Residential Building

means a building or structure which is used for a mixture of commercial and residential uses, the ground floor of which shall be primarily used for commercial uses.

Mobile Home Park

a property containing 2 or more mobile home sites and which is under single management and ownership, used for the siting of mobile homes together with commercial-recreational and service uses for mobile home park residents, including any building, structure or enclosure forming a part of such mobile home park.

Mobile Home Site

a parcel of land within a mobile home park occupied by or intended for occupancy by 1 mobile home together with all yards and open space required by this By-law.

Motel

a separate building or a group of 2 or more connected or detached buildings designed and used mainly for the purpose of catering to the needs of the traveling public by furnishing sleeping accommodation with or without supplying food for guests. The motel may include accessory recreational facilities and each guest room may be entered directly from the exterior of the building. A motel shall not include a boarding, lodging or rooming house or a hotel.

Motorized Recreational Vehicle Sales and Service

a building or a structure used for the sale and service of motorized recreational vehicles such as: boats, motorcycles, snowmobiles and all-terrain vehicles.

Motor Home

see "Travel Trailer".

Motor Vehicle

an automobile, truck, motorcycle or motorized snow or all-terrain vehicle, but does not include the cars of electric or steam railways, or other vehicles running only on rails, or a traction engine, farm tractor, self-propelled farm machinery or road building machine.

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NATURAL ENVIRONMENT SETBACKS

Section 2 – DEFINITIONS pages 24, 30, 43, 48, 50

Section 3 – General Provisions page 71, 66

Applies to : all areas subject to the proposed by-law . Lakefront areas.

Controls and limitations of setbacks to natural environment setbacks , Authority of the ABCA and related definitions which may support the application of these restrictions

General comments :

1. I would ask that you refer to the attached pages of the by-law with my hand written notes.
2. I can summarise the points which would be related in common.
3. In reviewing these individual aspects in definitions and general provisions , it may be useful to develop a collective **amalgamated** category where you don't have to look in several fragmented places in the bylaw .

A working title could be:

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES

Where the related material are on-line. Hyperlinks to the pertinent related authorities would be something typical Internet users would expect and find useful. Improved detail on mapping showing natural environment locations would be a great assistance. This is lacking in many municipalities.

- A. A familiarity with the conservation Regulations and the operating guidelines of our local Conservation Authority, ABCA is beyond the experience levels of most property owners.

- B. I found myself searching for definition of Hazard lands that is more easily relatable to any given property.
 - C. Definition (Central Huron)-NATURAL HAZARDS – Shall include: flooding, erosion, unstable slopes and soils, sinkholes, and lands adjacent to ravines, river valleys, streams, dynamic beach, and water bodies.
 - D. I have copied a map from the CA. maps portal that may be the graphic representation of the Lands in the Authority of the ABCA. There is a term I have only seen one reference to: (CARL) that probably describes this authority. Most people would never know this map exists. Significant to note would be the real estate and possibly appraisal service providers who may have a client duty to ensure knowledge of such authority conditions.
 - E. The Zoning mapping does not reference or define the conservation controlled lands of Lakeshore Areas 1 & 2. These areas have great significance in any attempt to obtain a building permit. They take a certain skill set to find and interpret.
 - F. There is a range of setbacks in 3.19 . We would be hard pressed to find many cottages that comply with the 50m and 120m setbacks in 3.19.
 - G. The Shoreline Management Development Guidelines 3.3.6 page 57 reference a 30 metre setback from Top of bank in the Municipal Zoning by-law. Setbacks reference hazard lands. Hazard Land Requirements 3.9 pg 66 are referenced , but have significant repercussions. Perhaps a link or redirection to the source of this information would be useful noted in definitions or referenced to the municipal website. (maybe it's already there?)
 - H. Natural Environment pg 43 : Is there an accessible mapping layer or inventory of areas that fall into this category?
 - I. Central Huron which also is also in the jurisdiction of the ABCA defines the following in red.
 - J. I have accumulated Bluewater excerpts as well since earlier submissions. I wish I had done this first.
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- A. Not all may be an automatic inclusion to MOSH, but it is the same lake. The authors have done a thorough job of expanding the topic and defining related considerations
 - B. Definition(Central Huron)-SHORELINE– means the land that abuts the high water mark of a waterbody SHORELINE PROTECTION – means a combination of non-structural or structural works or landform modifications constructed or designed to address the impacts of all natural hazards including flooding hazards, including wave action on shorelines, to arrest erosion hazards or the landward retreat of eroding shorelines, and/or to address dynamic beach hazards.
 - C. Definition(Central Huron)-DYNAMIC BEACH – means areas of inherently unstable accumulations of shoreline sediments along Lake Huron. The dynamic

beach hazard limit includes the flooding hazard limit plus a dynamic beach allowance.)

- D. Definition(Central Huron)-SINKHOLE– means a depression formed by the dissolution of underlying soluble bedrock which creates a connection between surface and groundwater.
- E. General Provisions (Central Huron)-3.45 ADJACENT LANDS No development is permitted in adjacent lands to natural features until it has been determined by the Conservation Authority or the Huron Stewardship Co-ordinator that the proposed development does not result in negative impacts on the natural environment features or functions of the significant natural environment feature. Prior to a building permit being issued within adjacent lands for new buildings and structures, and/ or for expansion of existing farm buildings, for the housing of livestock/ poultry and manure storage it must be determined that the proposed development results in no negative impacts to the natural environment features and functions of the feature. An Environmental Impact Study, (EIS) may be required to determine if development shall be permitted.
- F. General Provisions (Central Huron)-3.30 SETBACKS OF BUILDINGS & STRUCTURES ALONG MUNICIPAL DRAINS, SINKHOLES, NATURAL WATERCOURSES, AND LAKE HURON SHORELINE
- G. General Provisions (Central Huron)-3.30.1 No building or structure shall be erected closer than 7.5 metres from the centreline of a closed municipal drain. No building shall be erected closer than 7.5 metres from the top-of-bank of a natural watercourse or open municipal drain having a top width of less than 4.5 metres from top-of-bank to top-of-bank.
- H. General Provisions (Central Huron)-3.30.2 No building or structure shall be erected closer than 15 metres from the top-of-bank of a natural watercourse or open municipal drain having a top width of between 4.5 metres and 7.5 metres from top-of-bank to top-of-bank.
- I. General Provisions (Central Huron)-3.30.3 No building or structure shall be erected closer than 30 metres from any natural watercourse or open municipal drain which is more than 7.5 metres from top-of-bank to top-of-bank, or from any sinkhole.
- J. General Provisions (Central Huron)-3.30.4 No building or structure shall be erected closer to the top of bank of Lake Huron than the 100 year erosion hazard. ((I'm not sure the distance from top of bank in MOSH bylaw isn't better))
- K. General Provisions (Central Huron)-3.30.5 For existing lots located entirely below the lake bank of Lake Huron the minimum top of bank setback does not apply to buildings and structures that are permitted by this by-law to be constructed below the lake bank.
- L. General Provisions (Central Huron)-3.30.6 This provision shall not prevent any structure allowed in a NE1 or NE2 Zone.
- M. Definition(Central Huron)-FLOOD, REGULATORY – means the standard of the local Conservation Authority used to define the limit of the flood plain for regulatory purposes. FLOODLINE, REGIONAL – means the limits of the floodplain in the Municipality, based on a storm event equivalent to Hurricane Hazel of 1954.
- N. Definition(Central Huron)-EROSION HAZARD, 100 YEAR – shall mean the limit of erosion hazard determined by the average annual rate of recession extended over a one hundred year time span as defined by the Maitland Valley Conservation Authority or Ausable Bayfield Conservation Authority.

- O. Definition(Central Huron)-FLOOD, REGULATORY – means the standard of the local Conservation Authority used to define the limit of the flood plain for regulatory purposes. FLOODLINE, REGIONAL – means the limits of the floodplain in the Municipality, based on a storm event equivalent to Hurricane Hazel of 1954.
- P. Definition(Central Huron)-NATURAL HAZARDS – Shall include: flooding, erosion, unstable slopes and soils, sinkholes, and lands adjacent to ravines, river valleys, streams, dynamic beach, and water bodies.
- Q. Definition(Central Huron)-REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES

The Maitland Valley Conservation Authority and the Ausable Bayfield Conservation Authority have jurisdiction in the Municipality of Central Huron. The regulations of a Conservation Authority affect certain areas such as:

- ♣ floodplains
 - ♣ areas subject to slope instability and soils instability
 - ♣ hazardous areas along the Lake Huron shoreline
 - ♣ riverine valleys
 - ♣ wetlands
 - ♣ watercourses
 - ♣ areas adjacent to the above lands as defined in the applicable Conservation Authority regulation
- No development is permitted in lands regulated by the Conservation Authority Regulated Lands until it has been determined that the proposed development meets the requirements of all applicable laws regulated by the respective Conservation Authority. Technical studies, including but not limited to, hydrologic/hydrogeologic, geotechnical and environmental impact studies may be required to determine if development shall be permitted. Prior written permission of a Conservation Authority may be required to construct a building or structure, place or remove fill of any kind, or alter or interfere with a watercourse, shoreline or wetland. These areas are identified on the Key Maps of this By-law as Natural Environment, Rivers/Waterbodies, and Conservation Authority Notification Areas. It is recommended that prior to the commencement of any of the above activities, the Conservation Authority be contacted to determine if their Regulations apply to the lands. Further information regarding these regulations is available at the Conservation Authorities' offices. ((Let's get that on line)).

- R. Definition(Central Huron)-HAZARD LAND REQUIREMENTS In addition to the zone provisions of the applicable zones, this By-law shall regulate development on and adjacent to Hazard lands. Hazard lands include those lands that are susceptible to flooding or erosion, have steep slopes or soil instability, dynamic beaches or other environmental or human made hazard. No development shall be permitted on hazard lands or adjacent to hazard lands until an Environmental Impact Study or other required studies have been completed to the satisfaction of, and approved by the Municipality of Central Huron and the applicable Conservation Authority. Hazard lands may be zoned.
- S. OS1, or Floodway. The applicable Conservation Authority shall be consulted with respect to hazard land assessment and management, flood proofing standards, protection works standards, and access standards. A Conservation

Authority permit as per Section 3.7 of this By-law may be required. All hazard lands are subject to this general provision.

OTHER CONTROLS / LIMITATIONS TO LAND USE:

- T. Definition(Central Huron)-HERITAGE CONSERVATION DISTRICT – means a district as defined under Section 5 of the Ontario Heritage Act.
- U. Definition(Central Huron)-HISTORIC SITE – means an area containing buildings or places in which historic events occurred, or having special public value because of notable architectural features, or features relating to the cultural or artistic heritage of the community.

- V. I appreciate the topics associated with this whole matter are potentially complex. Guiding the reader to applicable resources would be very useful. I believe we need greater support in mapping from the conservation authorities to maintain transparency.

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Central Huron

References:

Definition(Central Huron)-**MOBILE HOME** – means a pre-fabricated, transportable, single or multiple section single detached dwelling constructed in conformity with CSA Z240 MH Series. Mobile Homes shall have a floor area of not less than fifty square metres, are designed to be towed on its own chassis (notwithstanding that its running gear is or may be removed), placed or designed to be placed on permanent foundations, but shall not include a travel trailer, tent trailer or a trailer otherwise designed.

Definition(Central Huron)-**MODULAR HOME** – means a pre-fabricated single detached dwelling built in a factory for transport to a permanent location for installation and constructed in conformity with CSA Standard A277.

Definition(Central Huron)- **MULTIPLE ATTACHED DWELLING** – means a building divided by a common wall extending from the foundation to the roof into three or more attached dwelling units, each having a separate entrance at grade.

Definition(Central Huron)- **NURSING HOME DWELLING** – means any building maintained and operated where lodging, meals and nursing care and provided for two or more persons, licensed under the Nursing Home Act.

Definition(Central Huron)- **QUADRUPLEX DWELLING** – means a pair of two attached duplex dwellings or four attached single dwelling units. Central Huron Zoning By-law January 27, 2017
14

Definition(Central Huron)- **RETIREMENT HOME** – means a building for the accommodation of senior citizens, within single or double rooms or suites which do not contain kitchens, and where central kitchen, dining and laundry facilities are provided for the residents, together with other communal facilities, under the supervision of resident and other staff, but which shall not include a Nursing Home, licensed under the Nursing Homes Act.

Definition(Central Huron)- **SEASONAL DWELLING** – see recreational residence

Definition(Central Huron)- **SECOND UNIT** – shall mean an accessory dwelling unit with its own kitchen, sanitary facilities and bedroom(s)/sleeping area in a single detached dwelling or accessory building to a single detached dwelling, semi-detached dwelling, or row house that meets the following requirements: Any additional exterior stairways provided for the second unit leading to a full floor above the first storey in a single detached dwelling shall not be located in

the front yard. One additional on-site parking space shall be provided for the second unit in addition to the parking for the main dwelling. Both the main dwelling and the second unit shall be served by one driveway. Second units in an accessory building will be subject to the Ontario Building Code and will require a change of use permit. No second unit will be established without being connected to full municipal water and sewer services. A second residential unit may be established within an existing single detached residence, row house or semidetached dwelling or in an accessory building on the same property, but in no case shall there be more than two dwellings permitted per lot. A mobile home shall not be used as a second unit.

Definition(Central Huron)- SEMI-DETACHED DWELLING – means a building that is completely divided into two dwelling units one beside the other by a vertical party wall, each dwelling unit having independent entrance either directly from the outside or through a common vestibule.

Definition(Central Huron)- TRIPLEX – means the whole of a building that is divided into three (3) separate dwelling units, each of which has an independent entrance either directly from the outside or through a common vestibule.

Definition(Central Huron)-DWELLING UNIT – means one or more habitable rooms constituting self-contained living quarters for use of one or more individuals including the provision of kitchen and sanitary facilities and sleeping accommodation for the exclusive use of such individual or individuals, and having a private entrance from outside the building or from a common hallway or stairway inside the building.

Definition(Central Huron)-HOSPICE – means a residential facility where terminally ill patients receive palliative care treatment in a home-like setting with a maximum of ten patient beds.

Definition(Central Huron)-FLOOD, REGULATORY – means the standard of the local Conservation Authority used to define the limit of the flood plain for regulatory purposes.
FLOODLINE, REGIONAL – means the limits of the floodplain in the Municipality, based on a storm event equivalent to Hurricane Hazel of 1954.

Definition(Central Huron)-HERITAGE CONSERVATION DISTRICT – means a district as defined under Section 5 of the Ontario Heritage Act.

Definition(Central Huron)-HISTORIC SITE – means an area containing buildings or places in which historic events occurred, or having special public value because of notable architectural features, or features relating to the cultural or artistic heritage of the community.

Definition(Central Huron)-MARINE FACILITY – means an accessory structure which is used to take a boat into or out of a navigable waterway, or to moor a boat. This definition includes a launching ramp, boat lift, or dock but does not include any building or any boat servicing, repair or sales facility.

Definition(Central Huron)-MOBILE HOME – See 'DWELLING, MOBILE HOME'
MOBILE HOME PARK – means a lot containing two or more mobile home sites and which is under single management and ownership, used for the siting of mobile homes and/or single storey modular homes together with commercial-recreational and service uses for Mobile Home Park residents, including any building, structure or enclosure forming a part of such mobile home park.

Definition(Central Huron)-MOBILE HOME & RECREATIONAL VEHICLE SALES & SERVICE ESTABLISHMENT – means land, building or structure used for the sale and display of new Mobile Homes, Modular Homes, and Travel Trailers and may include the servicing and repair of such structures and vehicles, but shall not include any other uses defined in this By-law.

Definition(Central Huron)-MOBILE HOME SITE – means a parcel of land within a mobile home park occupied by or intended for occupancy by one mobile home together with all yards and open space required by this By-law.

Definition(Central Huron)-MODULAR HOME – See 'DWELLING, MODULAR HOME'

Definition(Central Huron)-NATURAL HAZARDS – Shall include: flooding, erosion, unstable slopes and soils, sinkholes, and lands adjacent to ravines, river valleys, streams, dynamic beach, and water bodies.

Definition(Central Huron)-PRIVACY FENCE – means a solid and continuous fence constructed of suitable material to a height of not less than 1.5 metres (5.0 feet) so as to provide a year round visual barrier.

Definition(Central Huron)-RECREATION, ACTIVE – means the use of land, water and/or building for the purpose of organized active leisure activities and shall include such uses as an arena, a pool and a sports field.

Definition(Central Huron)-RECREATION, PASSIVE – means the use of land and/or water for the purpose of passive leisure activity and may include such uses as: swimming, and trails for hiking, skiing and cycling and horseback riding. No enclosed buildings or structures are permitted. Boathouses are not considered accessory to a passive recreation use.

Definition(Central Huron)-RESORT – means a tourist establishment operated under one management with accommodation units and/or housekeeping units and central facilities such as an office, restaurant, tavern, meeting facilities, recreational facilities, personal service shop and retail store for the sale of personal convenience goods and foodstuffs, recreational equipment and accommodation for staff.

Definition(Central Huron)-ROAD, STREET OR HIGHWAY (PUBLIC) – means a common or public highway, street, avenue, parkway, driveway, square, place, bridge, viaduct or trestle, any part of which is intended for or used by the general public for the passage of vehicles and includes the area between the lateral property lines thereof. For the purpose of setbacks, an unopened or unassumed road allowance shall also be considered a road, street or highway (public).

Definition(Central Huron)- PROVINCIAL HIGHWAYS— In Central Huron Highway 21 and Highway 8 are Provincial Highways. The Ministry of Transportation regulates access to provincial highways and setbacks from provincial highways. "Entrance permits" onto provincial roads will be issued by the Ministry of Transportation provided the MTO's controlled access highway criteria can be satisfied".

Definition(Central Huron)- ROAD, RURAL ARTERIAL – are roads designed to facilitate through traffic. These roads will be developed, where possible, on a 30 metre (100 foot) road allowance and direct access will be limited so as not to impede the efficient flow of through traffic. In Central Huron, all County Highways are Rural Arterial Roads. Access to Rural Arterial Roads is regulated by the County of Huron Highways Department.

Definition(Central Huron)- CONNECTING LINK – are roads designed to facilitate through traffic within the Clinton Settlement Area. The Clinton connecting links are: Ontario Street, Huron Street and Victoria Street. These roads will be developed, where possible on a 30 metre (100 foot) road allowance. Access to connecting links is subject to Municipal approval.

Definition(Central Huron)- ROAD, Urban Collector – means a road in the Central Huron Settlement Area with the dual function of carrying moderate volumes of traffic and providing land access. Collector roads distribute traffic between local and arterial roads and carry lighter volumes for shorter trips than an arterial road. These roads will be developed, where possible, on a 20 metre (66 foot) road allowance. Access to Urban Collector Roads is subject to Municipal Approval.

Definition(Central Huron)-ROAD, Local – means a road which provides localized access and minimizes through traffic. These roads will be developed, where possible, on a 20 metre (66 foot) road allowance.

Definition(Central Huron)- ROAD, Private – means a private right-of-way over private property which affords access to abutting lots and is not maintained by a public body

Definition(Central Huron)-SETTLEMENT AREAS – means areas within towns, villages and hamlets where development is concentrated, and the surrounding land has been designated for development in the Official Plan.

Definition(Central Huron)-TENANT -- means a person or group who occupies a building, structure or land by rental agreement.

Definition(Central Huron)-TRAILER – a trailer may include a trailer for the transport of vehicles, equipment and materials.

Definition(Central Huron)-DYNAMIC BEACH – means areas of inherently unstable accumulations of shoreline sediments along Lake Huron. The dynamic beach hazard limit includes the flooding hazard limit plus a dynamic beach allowance.

Definition(Central Huron)-TOP-OF-BANK – means a line delineated at a point where the oblique plane of the slope meets the horizontal plane.

Definition(Central Huron)-EROSION HAZARD, 100 YEAR – shall mean the limit of erosion hazard determined by the average annual rate of recession extended over a one hundred year time span as defined by the Maitland Valley Conservation Authority or Ausable Bayfield Conservation Authority.

Definition(Central Huron)-TRAVEL TRAILER – means a structure or vehicle designed, intended and used exclusively for the temporary or seasonal living, sleeping or eating accommodation for persons therein during travel, recreation and vacation and which is either capable of being drawn by a passenger vehicle or is self-propelled and shall include tent trailers, vans, motor homes and similar transportable accommodation excepting a mobile home. Travel trailers are built to Z240RV Series specifications.

Definition(Central Huron)-TRAILER AND TENT PARK – means any land upon which overnight, short term or seasonal accommodation for two or more tents, travel trailers or park model trailers are used or intended to be used for human occupation, which shall not include permanent year-round human occupation of permitted tents or trailers and shall be closed on or before November 1 of each year and open no earlier than April 1 of the following year, and includes on-site ancillary commercial, laundry, social and recreational facilities.

Definition(Central Huron)-TRAILER, PARK MODEL – means a recreational unit that meets the following criteria: a) it is built on a single chassis mounted on wheels; b) it is designed to facilitate relocation from time to time; c) it is designed as living quarters for seasonal camping and may be connected to those utilities necessary for operation of installed fixtures and

appliances, and; d) it has a floor area, including lofts, not exceeding 50.2 sq. m (540 sq. ft.) when in the setup mode, and having a width greater than 2.6m in the transit mode; e) shall be designed and constructed in accordance with CAN/CSA-Z241 Series, Park Model Trailers, as amended from time to time.

(The size noted in the CSA STANDARD is 50M2. Central Huron uses 50.2m2 because this is the direct conversion from 540 sf. 540 sf is the size the industry uses since the beginning of the code. Northlander staff assisted in developing the first code. CSA acknowledges they used a soft rounding to 50m2 and has approved manufacturer's submissions of 540 sf to date without objections)

Definition(Central Huron)-TRAVEL TRAILER SALES ESTABLISHMENT – See 'MOBILE HOME & RECREATIONAL VEHICLE SALES & SERVICE ESTABLISHMENT'

Definition(Central Huron)-WATER SYSTEM, COMMUNAL – means water systems that are designed to serve multiple water users.

Definition(Central Huron)-WATERCOURSE – means a natural/artificial channel for a stream and, for the purpose of this By-law, includes a channel for an intermittent stream.

Definition(Central Huron)-REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES

The Maitland Valley Conservation Authority and the Ausable Bayfield Conservation Authority have jurisdiction in the Municipality of Central Huron. The regulations of a Conservation Authority affect certain areas such as:

- floodplains
- areas subject to slope instability and soils instability
- hazardous areas along the Lake Huron shoreline
- riverine valleys
- wetlands
- watercourses

- areas adjacent to the above lands as defined in the applicable Conservation Authority regulation No development is permitted in lands regulated by the Conservation Authority Regulated Lands until it has been determined that the proposed development meets the requirements of all applicable laws regulated by the respective Conservation Authority. Technical studies, including but not limited to, hydrologic/hydrogeologic, geotechnical and environmental impact studies may be required to determine if development shall be permitted. Prior written permission of a Conservation Authority may be required to construct a building or structure, place or remove fill of any kind, or alter or interfere with a watercourse, shoreline or wetland. These areas are identified on the Key Maps of this By-law as Natural Environment, Rivers/Waterbodies, and Conservation Authority Notification Areas. It is recommended that prior to the commencement of any of the above activities, the Conservation Authority be contacted to determine if their Regulations apply to the lands. Further information regarding these regulations is available at the Conservation Authorities' offices.

Definition(Central Huron)-HAZARD LAND REQUIREMENTS In addition to the zone provisions of the applicable zones, this By-law shall regulate development on and adjacent to Hazard lands. Hazard lands include those lands that are susceptible to flooding or erosion, have steep slopes or soil instability, dynamic beaches or other environmental or human made hazard. No development shall be permitted on hazard lands or adjacent to hazard lands until an

Environmental Impact Study or other required studies have been completed to the satisfaction of, and approved by the Municipality of Central Huron and the applicable Conservation Authority. Hazard lands may be zoned OS1, or Floodway. The applicable Conservation Authority shall be consulted with respect to hazard land assessment and management, flood proofing standards, protection works standards, and access standards. A Conservation Authority permit as per Section 3.7 of this By-law may be required. All hazard lands are subject to this general provision.

Definition(Central Huron)-LOT ENLARGEMENT, MINOR Where lands are severed and merged on title with abutting lands, the zoning on the existing property shall apply to the lands to be merged on title. This provision applies only where a severance is granted for the purpose of minor lot enlargement or enlargement of an abutting use.

Definition(Central Huron)-LOTS FRONTING LAKE HURON Where a lot fronts Lake Huron, the front yard may be either the street or the lakeshore.

Definition(Central Huron)-3.22.9 Occupancy of Travel Trailers and Motor Homes No person shall, in any zone, unless permitted, use any travel trailer or motor home for the purpose of primary residential, permanent living. The occasional short-term temporary non-commercial use is permitted. For the purposes of this Section, occasional short-term temporary shall mean a maximum of 2 weeks in a calendar year.

Definition(Central Huron)-3.23 ONE OR MORE PERMITTED USES Where one or more uses are permitted in any zone, land may be used and buildings may be erected and used thereon for one or more of the uses so permitted, provided the requirements of this By-law are satisfied for each such use.

Definition(Central Huron)-3.25.6 Mobile Homes It shall be prohibited to locate or use a mobile home in any zone except in the General Agriculture (AG1), Agriculture- Commercial Industrial (AG3), Agricultural- Small Holdings (AG4) and Mobile Home Parks (R4) for any purpose

Definition(Central Huron)-3.30 SETBACKS OF BUILDINGS & STRUCTURES ALONG MUNICIPAL DRAINS, SINKHOLES, NATURAL WATERCOURSES, AND LAKE HURON SHORELINE 3.30.1 No building or structure shall be erected closer than 7.5 metres from the centreline of a closed municipal drain. No building shall be erected closer than 7.5 metres from the top-of-bank of a natural watercourse or open municipal drain having a top width of less than 4.5 metres from top-of-bank to top-of-bank.

Definition(Central Huron)-3.30.2 No building or structure shall be erected closer than 15 metres from the top-of-bank of a natural watercourse or open municipal drain having a top width of between 4.5 metres and 7.5 metres from top-of-bank to top-of bank.

Definition(Central Huron)-3.30.3 No building or structure shall be erected closer than 30 metres from any natural watercourse or open municipal drain which is more than 7.5 metres from top-of-bank to top-of-bank, or from any sinkhole.

Definition(Central Huron)-3.30.4 No building or structure shall be erected closer to the top of bank of Lake Huron than the 100 year erosion hazard. (I am not sure the 100 year line is used or referenced as it has been in the past. If this is not correct, it would be incumbent upon the bylaw(s) to define it on zoning mapping or provisions on a similarly scaled companion mapping made easily available)

Definition(Central Huron)-3.30.5 For existing lots located entirely below the lake bank of Lake Huron the minimum top of bank setback does not apply to buildings and structures that are permitted by this by-law to be constructed below the lake bank.

Definition(Central Huron)-3.30.6 This provision shall not prevent any structure allowed in a NE1 or NE2 Zone.

Definition(Central Huron)-3.30.7 Notwithstanding the provisions of Section 3.30.1. to the contrary, in a Settlement Area, the setback for a building or structure from the centerline of a closed municipal drain may be reduced to 4 metres.

Definition(Central Huron)-3.43.2 Rural Areas or Partially Serviced/Un-serviced Settlement Areas In un-serviced and partially serviced Settlement Areas and Rural Areas, development may occur by private or municipal wells and/or septic disposal systems. Any uses requiring a septic tank disposal system shall have a lot of sufficient size to accommodate a sewage disposal system as approved by the appropriate authority.

Definition(Central Huron)-3.43.3 Requirement to Connect At such time as it is feasible to extend municipal sanitary sewers, all un-serviced lands shall be required to connect to the municipal sanitary sewer system as soon as it becomes operative.

Definition(Central Huron)-3.45 ADJACENT LANDS No development is permitted in adjacent lands to natural features until it has been determined by the Conservation Authority or the Huron Stewardship Co-ordinator that the proposed development does not result in negative impacts on the natural environment features or functions of the significant natural environment feature. Prior to a building permit being issued within adjacent lands for new buildings and structures, and/ or for expansion of existing farm buildings, for the housing of livestock/ poultry and manure storage it must be determined that the proposed development results in no negative impacts to the natural environment features and functions of the feature. An Environmental Impact Study, (EIS) may be required to determine if development shall be permitted.

(the terms Natural features as determined by.... and natural environment features are used interchangeably ??) (the terms will certainly take on significance when applied to regulation and determination of regulation by the Conservation Authorities)

Definition(Central Huron)-SHORELINE– means the land that abuts the high water mark of a waterbody SHORELINE PROTECTION – means a combination of non-structural or structural works or landform modifications constructed or designed to address the impacts of all natural hazards including flooding hazards, including wave action on shorelines, to arrest erosion hazards or the landward retreat of eroding shorelines, and/or to address dynamic beach hazards.

(the terms will certainly take on significance when applied to regulation and determination of regulation by the Conservation Authorities)

Definition(Central Huron)-SINKHOLE– means a depression formed by the dissolution of underlying soluble bedrock which creates a connection between surface and groundwater.

End.

NATURAL ENVIRONMENT SETBACKS

Municipality of South Huron Zoning By-law Section 3 General Provisions

3.17. Multiple Lots

Where 2 or more abutting lots held in the same ownership in a Plan of Subdivision are used together as a single parcel and contain a building or structure on the date this by-law is passed, the yards, setbacks, and other applicable provisions shall be calculated as they apply to the entire parcel as a whole containing such building or structure.

Where a proposed building or structure does not meet the zone provisions with respect to zone coverage or the required setback from the common property line between the lots being developed as a single parcel, the lots must first be deemed pursuant to the Planning Act.

3.18. Municipal Services

Where municipal water and sanitary sewage services are available new development must connect to the services.

3.19. Natural Environment Zone Setback

No development is permitted in Conservation Authority Regulated Lands (CARL) or adjacent lands, which are defined as lands within 120 metres of a Provincially Significant wetland or within 50 metres of all other significant natural features until it has been determined that the proposed development does not result in negative impacts on the natural environment features or functions of the significant natural environment feature. *SEE SECTION 3, DEFINITIONS Pg 43. NATURAL ENVIRONMENT.*

AFFECTS LAKEFRONT

SEE ALSO 3.37 SETBACKS FROM MUN. DRAINS AND NATURAL WATER COURSED. Pg. 86/87

In areas zoned AG1 adjacent lands will be 15 metres from all significant natural features, except for Provincially Significant wetlands, which require 120 metres.

No adjacent land is applied around woodlots smaller than 4 hectares that are otherwise not deemed to be a significant natural feature. An Environmental Impact Study, (EIS) may be required to determine if development shall be permitted.

In lake-bank or valley properties the provisions of 'Hazard Lands' shall also apply.

SEE Pg 66 GENERAL PROVISIONS.

All buildings and structures in all zones outside of a settlement area shall be setback from a NE2 Zone a minimum distance of 50 metres, unless the building or structure is to be located in the AG1 Zone where the minimum setback shall be 15 metres.

All buildings and structures in all zones shall be setback from a NE1 Zone a minimum distance of 120 metres. *(393.7 FT.)*

HAS THIS BEEN APPLIED REVIEW IF ACTUAL EXISTING CONDITIONS IN AN AREA SUCH AS EXETER?

AUSABLE RIVER THROUGH EXETER.

Abm

Municipality of South Huron Zoning By-law
Section 3 General Provisions

Structure	Yards in which Projection is Permitted	Maximum Projection into Minimum Required Yard
		closer than 1 metre to any property line
Retaining walls or similar accessory structures	All yards	No maximum or minimum requirements, provided that no part of the structure extends beyond the property line
Air Conditioning Units and Solar Panels	Rear, exterior side and interior side yards	1 metre provided that no part extend closer than 1.5 metre to any property line

3.5.1. Encroachment Exception

Where a building or structure has been established in accordance with a building permit but is subsequently shown by an Ontario Land Surveyor's survey not to comply with the provisions of the Zoning By-law, an encroachment of up to 0.25 metres into any yard is recognized as being permitted.

3.6. Exterior Lighting

The type, location, height, intensity, duration and direction of lighting shall be designed to conserve energy and ensure the light is confined to the building face, parking area and vicinity of the site so as to not cast glare onto adjacent properties adversely affecting the use of the property or onto an adjacent street posing a vehicular safety hazard.

3.7. External Building Materials

The following building materials shall not be used for the exterior vertical facing on any wall of any building or structure:

- tar paper or building paper;
- asphalt roll type siding or insul-brick;
- plain concrete or plain cinder block in Residential or Recreational zones; or
- galvanized steel in Residential or Recreational zones.

3.8. Government Uses Permitted

A government use is a permitted use in all zones.

SEE 3.19. NATURAL ENV. ZONE SET BACKS

3.9. Hazard Land Requirements *(is this Lakeshore Areas 1 & 2)?*

In addition to the provisions of the applicable zones and general provisions, no buildings or structures are permitted on hazard lands or adjacent to hazard lands within the area subject to the Ausable Bayfield Conservation Authority's authority under O. Reg. 14/06, as amended, unless the permission of the Ausable Bayfield Conservation Authority has been obtained.

*APPEARS TO BE BUILDING EDUCATION
VERIFY ACT or Regulation*

HAZARD LANDS

Looks very Contrary To END results of LAST YEARS 2016 Shore Line management PUBLIC REVIEW PROCESS.

HOME PAGE LAWS
O. REG. 147/06: AUSABLE BAYFIELD CONSERVATION AUTHORITY: REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES



ONTARIO REGULATION 147/06

made under the

CONSERVATION AUTHORITIES ACT

Made: April 27, 2006

Approved: May 2, 2006

Filed: May 4, 2006

Published on e-Laws: May 8, 2006

Printed in The Ontario Gazette: May 26, 2006

Reference 1A
3.9
is O. REG. 14/06
(Board of Education ?)

AUSABLE BAYFIELD CONSERVATION AUTHORITY: REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES

Definition

1. In this Regulation,

"Authority" means the Ausable Bayfield Conservation Authority.

Development prohibited

2. (1) Subject to section 3, no person shall undertake development, or permit another person to undertake development in or on the areas within the jurisdiction of the Authority that are,

(a) adjacent or close to the shoreline of the Great Lakes-St. Lawrence River System or to inland lakes that may be affected by flooding, erosion or dynamic beaches, including the area from the furthest offshore extent of the Authority's boundary to the furthest landward extent of the aggregate of the following distances:

(i) the 100 year flood level, plus a 15 metre allowance for wave uprush and other water related hazards,

(ii) the predicted long term stable slope projected from the existing stable toe of the slope or from the predicted location of the toe of the slope as that location may have shifted as a result of shoreline erosion over a 100-year period,

(iii) where a dynamic beach is associated with the waterfront lands, a 30 metre allowance inland to accommodate dynamic beach movement, and

(iv) the lesser of 15 metres inland or the landward extent of Lakeshore Area 2 as defined in the document entitled "Ausable Bayfield Conservation Authority Shoreline Management Plan" second edition, 2000, which is available at or through the Authority at its head office located at 71103 Morrison Line, R.R.#3, Exeter, Ontario, N0M 1S0;

(b) river or stream valleys that have depressional features associated with a river or stream, whether or not they contain a watercourse, the limits of which are determined in accordance with the following rules:

(i) where the river or stream valley is apparent and has stable slopes, the valley extends from the stable top of bank, plus 15 metres, to a similar point on the opposite side,

(ii) where the river or stream valley is apparent and has unstable slopes, the valley extends from the predicted long term stable slope projected from the existing stable slope or, if the toe of the slope is unstable, from the predicted location of the toe of the slope as a result of stream erosion over a projected 100-year period, plus 15 metres, to a similar point on the opposite side,

(iii) where the river or stream valley is not apparent, the valley extends the greater of,

(A) the distance from a point outside the edge of the maximum extent of the flood plain under the applicable flood event standard, plus 15 metres, to a similar point on the opposite side, and

(B) the distance from the predicted meander belt of a watercourse, expanded as required to convey the flood flows under the applicable flood event standard, plus 15 metres, to a similar point on the opposite side;

(c) hazardous lands;

(d) wetlands; or

(e) other areas where development could interfere with the hydrologic function of a wetland, including areas within 120 metres of all provincially significant wetlands, and areas within 30 metres of all other wetlands, but not including those areas where development has been approved pursuant to an application made under the Planning Act or other public planning or regulatory process.

(2) The areas described in subsection (1) are the areas referred to in section 12 except that, in case of a conflict, the description of the areas provided in subsection (1) prevails over the descriptions referred to in that section.

Permission to develop

3. (1) The Authority may grant permission for development in or on the areas described in subsection 2 (1) if, in its opinion, the control of flooding, erosion, dynamic beaches, pollution or the conservation of land will not be affected by the development.

(2) The permission of the Authority shall be given in writing, with or without conditions.

Application for permission

4. A signed application for permission to undertake development shall be filed with the Authority and shall contain the following information:

1. Four copies of a plan of the area showing the type and location of the development;
2. The proposed use of the buildings and structure following completion of the development;
3. The start and completion dates of the development;
4. The elevations of existing buildings, if any, and grades and the proposed elevations of buildings and grades after development;
5. Drainage details before and after development;
6. A complete description of the type of fill proposed to be placed or dumped.

Alterations prohibited

5. Subject to section 6, no person shall straighten, change, divert or interfere in any way with the existing channel of a river, creek, stream or watercourse, nor change or interfere in any way with a wetland.

Permission to alter

6. (1) The Authority may grant a person permission to straighten, change, divert or interfere with the existing channel of a river, creek, stream or watercourse or to change or interfere with a wetland.

(2) The permission of the Authority shall be given in writing, with or without conditions.

Application for permission

7. A signed application for permission to straighten, change, divert or interfere with the existing channel of a river, creek, stream or watercourse or change or interfere with a wetland shall be filed with the Authority and shall contain the following information:

1. Four copies of a plan of the area showing plan view and cross-section details of the proposed alteration;
2. A description of the methods to be used in carrying out the alteration;
3. The start and completion dates of the alteration;
4. A statement of the purpose of the alteration.

Cancellation of permission

8. (1) The Authority may cancel a permission if it is of the opinion that the conditions of the permission have not been met.

(2) Before cancelling a permission, the Authority shall give a notice of intent to cancel to the holder of the permission indicating that the permission will be cancelled unless the holder shows cause at a hearing why the permission should not be cancelled.

(3) Following the giving of the notice, the Authority shall give the holder at least five days' notice of the date of the hearing.

Validity of permissions and extensions

9. (1) A permission of the Authority is valid for a maximum period of 24 months after it is issued, unless it is specified to expire on an earlier date.

(2) A permission shall not be extended.

Appointment of officers

10. The Authority may appoint officers to enforce this Regulation.

Flood event standards

11. The applicable flood event standards used to determine the maximum susceptibility to flooding of lands or areas within the watersheds in the area of jurisdiction of the Authority are the Hurricane Hazel Flood Event Standard, the 100 Year Flood Event Standard and the 100 year flood level plus wave uprush, described in Schedule 1.

Areas included in the Regulation List

12. Hazardous lands, wetlands, shorelines and areas susceptible to flooding, and associated townships, within the watersheds in the area of jurisdiction of the Authority are delineated by the Regulation List shown on maps 1 to 94 dated October 2005 and filed at the head office of the Authority at 71103 Monticlon Line, R.R.#3, Essex, Ontario under the map title "Ontario Regulation 97/04, Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses".

Revocation

13. Ontario Regulation 46/93 is revoked.

SCHEDULE 1

1. The Hurricane Hazel Flood Event Standard means a storm that produces over a 48-hour period,

- (a) in a drainage area of 25 square kilometres or less, rainfall that has the distribution set out in Table 1; or
- (b) in a drainage area of more than 25 square kilometres, rainfall such that the number of millimetres of rain referred to in each column in Table 1 shall be modified by the percentage amount shown in Column 2 of Table 2 opposite the area of the drainage area set out opposite therein in Column 1 of Table 2.

TABLE 1

73 millimetres of rain in the first 36 hours
6 millimetres of rain in the 37th hour
4 millimetres of rain in the 38th hour
6 millimetres of rain in the 39th hour
13 millimetres of rain in the 40th hour
17 millimetres of rain in the 41st hour
13 millimetres of rain in the 42nd hour
23 millimetres of rain in the 43rd hour
13 millimetres of rain in the 44th hour
13 millimetres of rain in the 45th hour
53 millimetres of rain in the 46th hour
38 millimetres of rain in the 47th hour
13 millimetres of rain in the 48th hour

TABLE 2

Column 1	Column 2
Drainage Area (square kilometres)	Percentage
26 to 45 both inclusive	99.2
46 to 65 both inclusive	98.2
66 to 90 both inclusive	97.1
91 to 115 both inclusive	96.3
116 to 140 both inclusive	95.4
141 to 165 both inclusive	94.8
166 to 195 both inclusive	94.2
196 to 220 both inclusive	93.6
221 to 245 both inclusive	92.7
246 to 270 both inclusive	92.0
271 to 450 both inclusive	89.4
451 to 575 both inclusive	88.7
576 to 700 both inclusive	84.0
701 to 850 both inclusive	82.4
851 to 1000 both inclusive	80.8
1001 to 1200 both inclusive	79.3
1201 to 1500 both inclusive	76.6
1501 to 1700 both inclusive	74.4
1701 to 2000 both inclusive	73.3
2001 to 2200 both inclusive	71.7
2201 to 2500 both inclusive	70.2
2501 to 2700 both inclusive	69.0
2701 to 4500 both inclusive	64.4
4501 to 6000 both inclusive	61.4
6001 to 7000 both inclusive	58.9
7001 to 8000 both inclusive	57.4

2. The 100 Year Flood Event Standard means rainfall or snowmelt, or a combination of rainfall and snowmelt producing at any location in a river, creek, stream or watercourse, a peak flow that has a probability of occurrence of one per cent during any given year.

17/05/2018

O. Reg. 147/06: Ausable Bayfield Conservation Authority: Regulation of Development, Interference with Wetlands and Alterations to Sh...

3. The 100 year flood level means the peak instantaneous still water level plus an allowance for wave uprush and other water-related hazards for Lake Huron in the Great Lakes-St. Lawrence River System that has a probability of occurrence of one per cent during any given year.

Made by:

AUSABLE BAYFIELD CONSERVATION AUTHORITY:

Bill Weber

Chair

Tom B. Proulx

General Manager/Secretary-Treasurer

Date made: April 27, 2006

I certify that I have approved this Regulation.

DAVID JAMES RAMSAY

Minister of Natural Resources

Date approved: May 2, 2006

storage of seed, feed, fertilizers and chemical products, farm machinery and equipment sales and service, and animal and poultry health and breeding services.

Agricultural Use, General

general farming and without limiting the generality of the foregoing shall include such uses as: the general cultivation of land and the associated production, conditioning, processing and storage of field crops, vegetables, fruit, horticultural crops, biomass and nursery stock and the selling of such produced on the premises, the breeding and care of livestock, fowl, fur-bearing animals and bees, aquaculture, and the selling of such stock or the product of such stock raised on the premises and the management of forest, and the sale of forest products, including fuel wood, pulp wood, timber, Christmas trees, and maple products, and includes a farm dwelling and accessory buildings and uses.

Agricultural Use, Limited

the planting and harvesting of field, bush, vine, forest, or tree crops and grazing not including an accessory residence or livestock facility.

Alter, Alteration, Altered, or Altering

when used in reference to a building or part thereof, means any change in a bearing wall or partition or column, beam, girder or other supporting member of a building or structure or any change in the area or volume of a building or structure.

*How does this relate to 3.19
Gen. Prov. 5.0.1.5*

When used in reference to a property, to decrease/increase the width, depth or area of a property or to decrease/increase the width, depth or area of any required yard, setback, landscaped open space or parking area, or to change the location of any boundary of such property with respect to a street or lane, whether such alteration is made by conveyance or alienation of any portion of said property, or otherwise.

Airfield

land used for the purpose of landing, storing, taxiing or taking-off of private aircraft as an accessory use, but does not include an airport.

Airport

land, lot(s), property or buildings used for the purpose of landing, storing, taxiing or taking-off of private or commercial aircraft, pursuant to the regulations of the Ministry of Transport and/or Transport Canada.

Amenity Area

the area intended for recreational purposes, which may include landscaped open space, patios, balconies, communal lounges, swimming pools and similar uses, but shall not

ASor

Construct, Constructed, or Construction

the erecting, installation, extension, material alteration or repair of a building or structure and includes the installation of a building or structure fabricated or moved on site.

Council

the Municipal Council of the Corporation of the Municipality of South Huron.

County or County of Huron

the Corporation of the County of Huron.

Coverage

see "Zone Coverage".

Crawlspace

the portion of a building with more than 50% of its height from finished floor to finished ceiling below the adjacent finished grade level.

Cultural Heritage Site

an area containing buildings or places in which historic events occurred, or having special public value because of notable architecture or features relating to the cultural or artistic heritage of the community.

Day Nursery

a premises that receives more than 5 children who are not of common parentage, primarily for the purpose of providing temporary care, or guidance, or both temporary care and guidance, for a continuous period not exceeding 24 hours, where the children are:

- under 18 years of age in the case of a day nursery for children with a developmental disability, and
- under 10 years of age in all other cases,
- but does not include part of a public school or private school under the Education Act.

Day Centre, Adult

a facility providing activities, programs and services for adults not including residential accommodation.

Deck

an external structure comprised of a floor, commonly made of wood, any portion of which is more than 0.2 metres above the finished grade. A deck may or may not be attached to a building and does not include a balcony, or at grade patio.

Motor Vehicle Repair Shop

a building and/or land used for the servicing, repair, cleaning, polishing, lubrication and greasing of motor vehicles and may include minor vehicular body repair and re-painting, but shall not include any other motor vehicle use defined in this By-law.

Motor Vehicle Rust Proofing Establishment

a building used for the application of rust proofing materials on motor vehicles.

Motor Vehicle Sales and/or Services Establishment

a building and/or property used for the display and sale of new or used motor vehicles, and/or the servicing, repair, cleaning, polishing and greasing of these products, the sale of accessories and related products, the leasing or renting of motor vehicles and the retail sales of motor vehicle lubricants and fuels. This establishment may also include such minor body repair that may be incidental to the mechanical servicing and repair of motor vehicles.

Mushroom Growing Facility

the growing of mushrooms using a non-manure based growing material, such as wood/sawdust, with no use of animal wastes in the production process.

Natural Environment

areas of wetlands, woodlands, watercourses, valleys, and/or environmentally sensitive areas (ESAs). ESAs may include: life science areas of natural and scientific interest (Life Science ANSIs); habitat for threatened or endangered species; wildlife habitat; earth science areas of natural and scientific interest (Earth Science ANSIs).

Non-Complying

a legally existing property, building or structure that is permitted by the provisions of the applicable zone which does not meet the zone provisions with respect to yards, zone area, frontage, parking, setback, or any other provision of this By-law applicable to that zone.

Non-Conforming

a legally existing use, as of the date of passing of this By-law, that is not permitted in the zone in which it is located.

Noxious Use

a use which:

- a) may be hazardous or injurious in regards to health or safety,
- b) prejudices the character of the surrounding area, or
- c) may interfere with the normal enjoyment of any use of land, building or structure

c) Front Property Line

the property line that abuts the street except that, in the case of a corner property, the shorter property line that abuts the street shall be deemed the front property line and the longer property line that abuts the street or unopened road allowance shall be deemed the exterior side property line.

In the case of a corner property with 2 street lines of equal lengths, the property line that abuts the wider street or abuts a County Road or Provincial Highway shall be deemed to be the front property line, and in the case of both streets being under the same jurisdiction, or of the same width, the Municipality may designate either street line as the front property line.

In the case of a through property the longer boundary dividing the property from the street shall be deemed to be the front property line and the opposite shorter boundary shall be deemed to be the rear property line. In case each of such property lines are of equal length, the Municipality may designate either street line as the front property line.

For properties fronting on Lake Huron and for properties abutting or including the top-of-bank of Lake Huron, the front property line shall be the lake or top-of-bank side of the property.

d) Interior Property

a property other than a corner property.

e) Interior Side Property Line

a side property line other than an exterior side property line.

f) Side Property Line

a property line other than a front property line or rear property line.

g) Property Depth

the horizontal distance between the front property line and rear property line. Where these lines are not parallel, it shall be the length of a line joining the mid-points of the front property line and rear property line. For properties with curved front property lines, the measurement shall be taken from a line drawn parallel to the chord of the arc of the curve constituting the front property line, lying midway between said chord and a line drawn parallel to said chord and tangent to said arc. When there is no rear property line, property depth means the length of a straight line joining the middle of the front property line with the apex of the triangle formed by the side property lines.

ARE WE SURE WE
WANT THIS?
CURRENTLY
THE FRONT IS A CHOICE.

Asdr

Municipality of South Huron Zoning By-law
Section 2 Definitions

Reconstruct or Reconstruction

to construct again, and for the purposes of the reconstruction of a non-complying building means a replacement building with the same footprint or within the same footprint as the building it replaces.

Recreation, Active

the use of land, water and/or buildings or structures for the purpose of organized active leisure activities and shall include such uses as an arena, a pool and a sports field.

Recreation, Passive

the use of land and/or water for the purpose of passive leisure activity and shall include such uses as a park, a garden, a picnic area and hiking trails.

Recreational Residence

a single detached dwelling used for recreational purposes during any or all seasons.

Recreational Vehicle Sales and Service

a building or a structure used for the sale and service of park model trailers, travel trailers, and/or tent trailers.

Recycling Centre

a building or an area where materials, excluding motor vehicles and farm machinery, are collected, separated and processed.

Renovated or Renovation

Means the repair and restoration of a building to good condition within existing external walls but shall not include its replacement.

Replacement

when used in reference to a building or structure or part thereof, the rebuilding, repairing or restoring of more than 25% of the total building or structure.

Research Facility

a building or group of buildings in which are located facilities for conducting investigations, testing, or experimentation, including a laboratory.

Restaurant

a building or structure or part thereof used to prepare food and offer for sale and sell food for immediate consumption within the building or structure, or adjacent patio and may include an accessory take-out or drive through service.

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SPECIFIC ISSUES, CONTINUED

*ABCA
Shoreline Management*

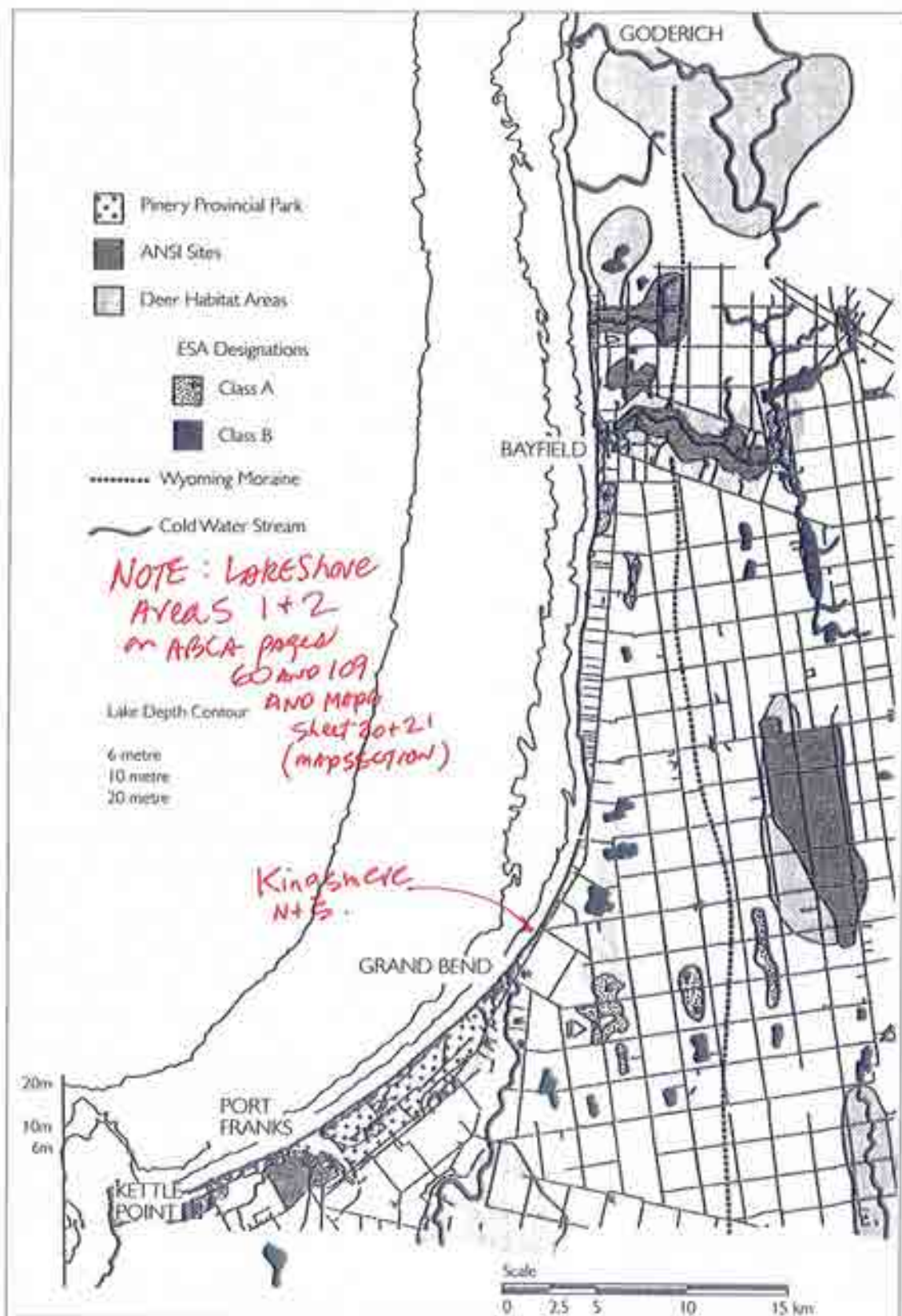


Figure 6 - Environmental Features



ABCA
MAPPING
FROM MAPPING
PORTAL C.A. MAPS.

South Huron



Sheet 21



Sheet 22



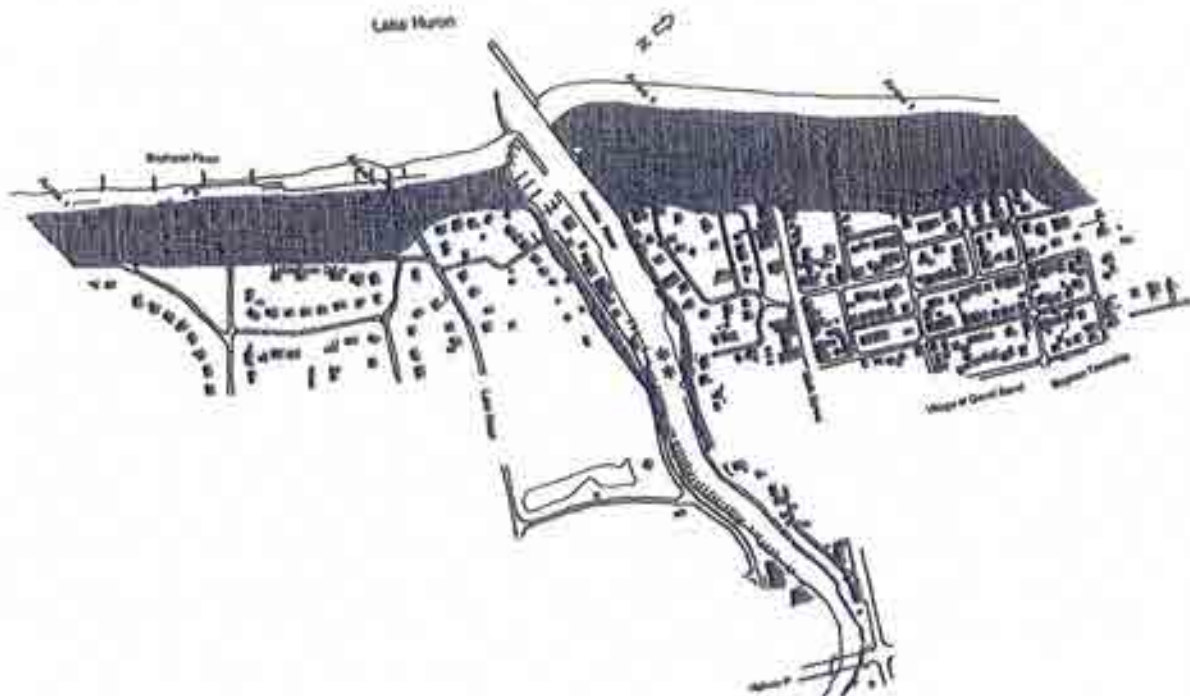
LEGEND

Scale 1:10000

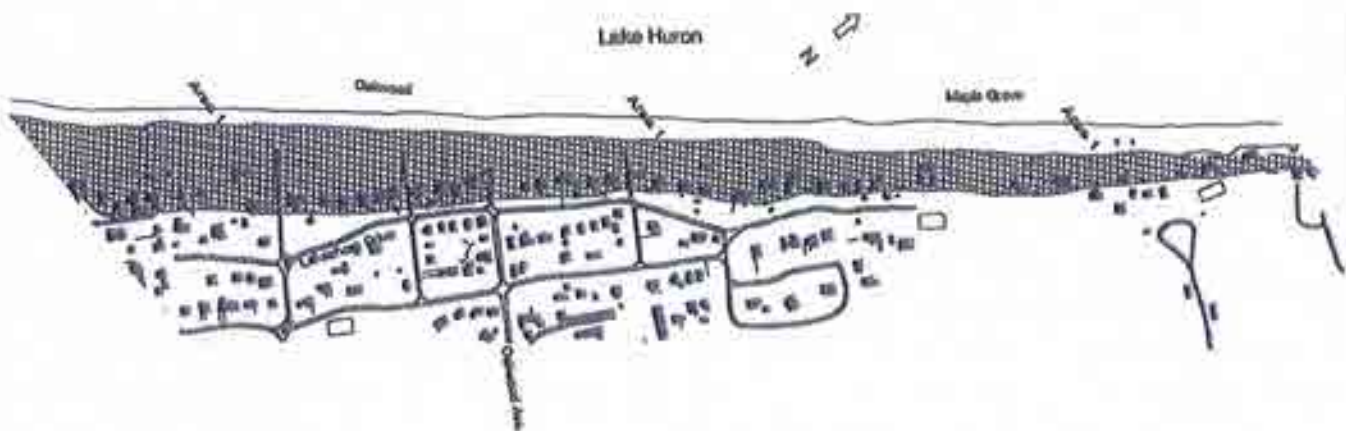
- Lakeshore Area 1
- Lakeshore Area 2

** Existing Regulation on Gully/Watercourses.
Refer to Section 4.2.3 of SMP for discussion
of Ontario Regulation 142/90.

Sheet 19



Sheet 20



LEGEND

Scale 1:10000

- Area 1 Lakeshore Area 1
- Lakeshore Area 2

** Existing Regulation on Gully/Watercourses.
Refer to Section 4.2.3 of SMP for discussion
of Ontario Regulation 142/90.

WATERSHED MAP

Municipalities: [Show](#) | [Hide](#) |

Conservation Lands: [Show](#) | [Hide](#)



All properties are shown
links are included to our
popular properties for you
access more information

1. [Clinton C.A.](#)
2. [Bannockburn W.M.A.](#)
3. Zurich C.A.
4. [Morrison Dam C.A.](#)
5. Stephen W.M.A.
6. Crediton C.A.
7. [Theedford C.A.](#)
8. [Parkhill C.A.](#)
9. Lucan C.A.
10. [Rock Glen C.A.](#)
11. Dinamore M.A.
12. Klopp M.A.
13. Hibbert Source M.A.
14. Campbell M.A.
15. Johnson M.A.
16. Devil's Elbow M.A.
17. L-Lake M.A.
18. Doherty M.A.
19. Mystery Falls M.A.
21. Sadler Tract

Watershed Report Card

SHORELINE MAPPING

The maps contained within this appendix illustrate the extent of shore land affected by the Lakeshore Area 1 and Lakeshore Area 2 designations in the Shoreline Management Plan. This area is also referred to as the 'Lakeshore Hazard Area' as stated in the Lakeshore Development Guidelines (Section 3.3).

The maps on the following pages are a reduction of the full-scale map sheets (see examples below) which are available for viewing from the appropriate municipal office or the ABCA. Map sheet numbers are indicated on the reduced copies and range from map #12 at the most southerly extent of the study area (adjacent to Camp Ipperwash) to map #44 which shows the northerly border of the study area at Sideroad 30, Goderich Township. Map detail includes buildings, roads, watercourses, top of lakeshore bank and cottage subdivision names.

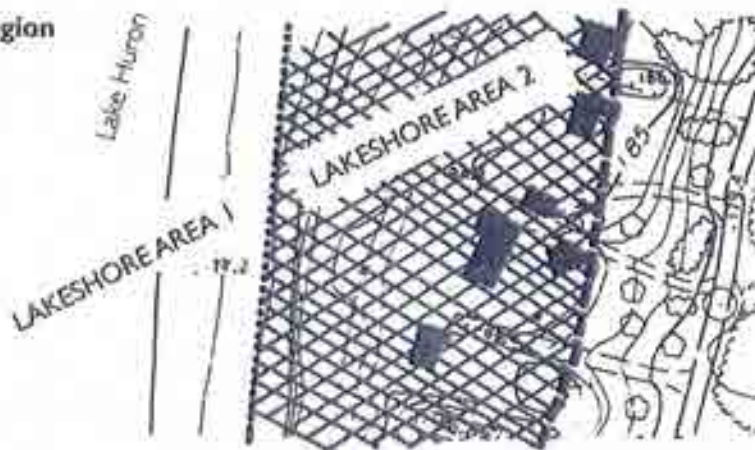
The reduced maps show the extent of Lakeshore Areas 1 and 2. These affected areas include the three hazard criteria discussed in Section 3.3, Lakeshore Development Guidelines: the hazards of flooding, erosion and dynamic beaches.

Please note that the 'defined portion of the dynamic beach' is not shown on these maps; it is available at the ABCA office from calculations made on the original mapping. Ontario Regulation #142/90 has now been updated and replaced by #46/95. This mapping is based on 1988 photography.

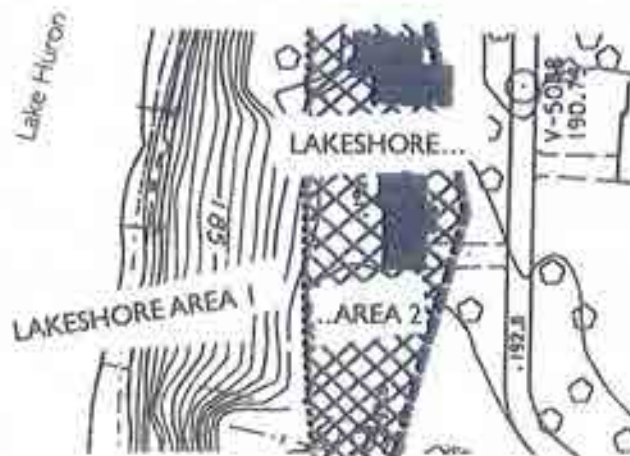
Please refer to the previously referenced section for a more complete explanation of the hazard criteria.

Examples of Full-scale Map Sheets

A) Dune Region



B) Bluff Region



GLOSSARY OF TERMS, CONTINUED

Escheat - Legal term; refers to property ownership reverting back to the Crown due to absence of any other arrangement for ownership being established.

Failure Plane (slip surface) - Plane or surface along which an unstable soil mass moves at failure; in bluff areas, a curved line extending from horizontal top of bluff a distance away from the crest and extending through the vertical face of the bluff, usually in the vicinity of the toe of the bluff (also see slump).

Flora and Fauna - Plant and animal species.

Fetch - Distance over water which waves are generated by a wind having a generally constant direction and speed.

Filet Beach - Accretional beach that exists due to the occurrence of an artificial structure (i.e. harbour structure) that interrupts littoral drift. Refer to discussion on Grand Bend and Bayfield (Section 3.2.6).

Filter - Layer of well-graded rock or synthetic material between protection works and backfill soil to prevent escape of soil through the protection works.

Foredune - The first dune feature landward from embryo dunes which exhibits some stabilization due to vegetation growth. Storm wave action may reach inland to erode this feature.

Foreshore - The part of shore or beach ordinarily traversed by the uprush of waves extending to the limit of wave uprush at the average annual high water level.

French Drain - (see blind inlet)

Frequency Curve - Graphical representation of the frequency of occurrence of specific events.

Gabion - Erosion control method using wire baskets filled with rock; commonly used for retaining walls and revetments.

Geodetic Referencing - Describing a feature using known geographical co-ordinates (commonly using latitude and longitude, or UTM grid co-ordinates).

G.S.C. - Geodetic Survey of Canada (GSC = IGLD (1985) = IGLD (1955) plus 0.19 m).

Geomorphologic - Based on existing physical shape or landform.

Groundwater - Subsurface water occupying the zone of saturation. In a strict sense, the term is applied only to water below the water table.

Gully Erosion - Erosion process whereby water accumulates in narrow channels and, over short periods, removes the soil from this narrow area to considerable depths, ranging from 0.5 metres to as much as 30 metres.

Groyne - Shore protection structure built at an angle from the shore to trap sediment drift and protect the shore from erosion by currents and waves by making a beach.

Groyne Field (groyne system) - Series of groynes acting together to protect a section of shoreline.

Habitat - The place or site where an animal or plant community naturally or normally lives.

Habitable Space - Rooms or spaces required and intended for overnight occupancy; includes facilities for storage, heating, air-conditioning, electrical, hot water supplies, plumbing, waste connections, etc. which are necessary to maintain the habitable condition.

Hard Points - Areas where relative shoreline erosion is reduced or eliminated in comparison with adjacent shorelines (see headlands).

Hazard Land - Land which, because of its physical characteristics combined with its location, presents a risk to its occupants, including loss of life, property damage and social disruption (i.e. flooding, erosion).

Headland - Erosion-resistant promontory, either natural or man-made, extending into the lake; embayments often form between adjacent headlands (e.g. Kettle, Rocky and Dewey Points).

High Water Mark - Uppermost extent that water levels range; also associated with a break in slope or vegetation.

Hindcasting - The act of predicting future wave climate using past records.

Historical Storm Event - A storm which, due to its magnitude of hazard (i.e. flooding or erosion), is an event referred to for historical reference.

Hydrographic Survey - Survey of the lake bottom.

Ice Damage - Damage related to build-up and movement of ice along the shoreline during winter and spring.

Improved Public Access - Public access which has been developed for pedestrian or vehicular traffic (as opposed to legal public access).

Infilling - With regard to construction: development on previously undeveloped lots, generally bounded by existing development on adjacent sides.

I.G.L.D. - International Great Lakes Datum (1985), referenced to mean water level at Father Point in the St. Lawrence River. Elevations referenced to datum are dynamic elevations which take into account not only the measured linear height above the reference zero, but also the force of gravity at that location. Resulting elevation differs by varying amounts, depending on location from standard orthometric elevation published by Geodetic Survey of Canada (IGLD 1985 = G.S.C. = IGLD 1955 plus 0.19 m).

Inundation - Temporary submergence of shorelands normally located above lake levels.

Jetty - Elongated artificial obstruction projecting from the shore into the lake to control shoaling and scour by deflection of strength of currents and waves.

REQUIRED TO PROVIDE EXPENSIVE ENGINEERING AND PERMITS FOR SUCH STUDIES TO AVOID THEIR CASE?

GLOSSARY OF TERMS, CONTINUED

Lag Deposits - Residual accumulations of coarser particles from which the finer material has been carried away

Lake Bank Overloading - Creating a potentially unstable bank by adding additional weight to the upper area

Lake-side effects - Processes originating on the lake which act upon the shoreline and cause changes (e.g. storm wave action, high lake levels)

Lakeward - Direction toward lake when measuring distances over land

Land-side effects - Processes originating on the land which act upon the shoreline and cause changes (commonly related to human actions of drainage, construction and earth moving)

Landward - Direction toward land when measuring distances over water

Lakeshore Area 1 - The region directly adjacent to Lake Huron where existing development may be subject to short-term hazards of flooding and erosion (refer to Section 3.3.5)

Lakeshore Area 2 - The region landward from Lakeshore Area 1 where existing development may be subject to long-term hazards and other considerations related to flooding and erosion (refer to Section 3.3.5)

Leeward - Direction toward which the wind is blowing, and the direction toward which waves are travelling

Legal Public Access - Access which has been assured through legal designation of land for access purposes but not necessarily developed for such a purpose (see *improved public access*)

Limnology - Study of physical, chemical, geological, biological, hydrological or other aspects of lakes

Linear Development - Development which exists in a linear alignment parallel to the lakeshore, typically with each lot having lakeshore frontage

Littoral - Pertaining to or along the shore, particularly to describe currents, deposits and drift

Littoral Cell - Areas under continuous influence of specific longshore currents

Littoral Sink - Areas where littoral materials are deposited and sand accumulates

Littoral Transport - OR **littoral drift**, the movement of littoral material in the littoral zone by currents, including movement parallel to the shore (longshore transport) and perpendicular to the shore (onshore-offshore transport); movement is due to prevailing current and oblique wave direction

Longshore - Parallel to and near the shore, usually within the littoral zone

Major Addition - The size of the addition being added to a building, being equal to or greater than 30% of total existing foundation area (calculated once per building)

Mature Beach - A beach that has experienced development of sand dunes

Minor Addition - The size of the addition being added to a building, being less than 30% of the total existing foundation area (calculated once per building)

Minor Structure - Portable structures including: wooden decks and supports; portable storage sheds with no utilities with a maximum size of 14 square metres (150 square feet) with no permanent foundation or floor slab; and above-ground pools

Monthly Mean Level - Average water level occurring during month, computed from hourly readings in each month

Moveable - Design and site considerations which will allow a structure to be moved away from a hazardous area; includes such factors as size of building in relation to road system, type of foundation, available space adjacent for building relocation and space for moving equipment to manoeuvre

Natural Area - Site or area in its natural state, undisturbed by human activities; an area set aside indefinitely to preserve a representative unit of a major forest or range of wetland, primarily for purposes of science, research or education

Nearshore - Indefinite zone extending lakeward from average annual water level to beyond breaker zone, defining area of nearshore currents formed primarily by wave action

Net Loss of Sand - Situation that results when contributions to the sediment budget are less than losses to the budget, therefore a net loss

New Development - Development that typically requires assemblance of property (land severance, subdivision) and/or change of zoning or land use designations to an appropriate use permitting proposed development (multi-unit, condominium)

Official Plan - A document adopted by a municipal council pursuant to provisions of the Planning Act which identifies existing use of land, guides and directs potential land uses and established implementation policies within boundaries of the municipality

Offset Measurements - Measurement taken perpendicular to — or at an angle to — a baseline or traverse line

Offshore - Area extending lakeward of the breaker zone

Offshore Breakwaters - Structure located in the offshore area; designed to protect a shore area, harbour, anchorage or basin from waves

Onshore - Area extending landward of normal high water mark

Onshore Wind - Wind blowing toward the shore

Outfall - Structure extending into a body of water for discharging sewage, storm runoff or cooling water

Overtopping - Passage of water over the top of a structure as a result of wave run-up or wind set-up

LAKESHORE DEVELOPMENT GUIDELINES, CONTINUED

ARE HAZARDS REFERENCED ON THIS PAGE
WHAT IS REFERRED TO AS HAZARD LANDS IN THE
SECTION 3.3.5 LAKESHORE AREA DESIGNATIONS PROPOSED
FOR EXISTING DEVELOPMENT ZONING BYLAW?

It is recognized that prohibiting or restricting development within the Lakeshore Hazard Area will protect new and existing development from shoreline hazards while also protecting the shoreline resource from inappropriately located and/or expanded development. Implementation of this goal is straightforward when dealing with new development. However, incorporating guidelines which reflect the lakeshore's hazardous nature is more complex when applied to existing developments or existing undeveloped lots (i.e. areas of redevelopment, or infilling proposals on existing lots). For this reason, the shoreline is further classified into Lakeshore Area 1 and Lakeshore Area 2, to assist in implementation of guidelines as related to existing development. Generally, Lakeshore Area 1 and Lakeshore Area 2 reflect shorter- and longer-term lakeshore concerns, respectively. They are defined with reference to the ABCA shoreline as follows.

1) Lakeshore Area 1

* **Flood Hazard** — That area of the shoreline landward (or inland) from the water's edge, including the 100-year flood level plus wave uprush setback, which is also known as the Regulatory Flood Standard (see Figure 17).

* **Erosion Hazard** — That area of the shoreline lakeward (or offshore) of the stable slope line, including the slope and toe of the lakebank (see Figure 18).

* **Dynamic Beach Hazard** — That area measured landward (or inland) from the water's edge including the flood hazard plus a distance of 15 metres measured horizontally. This 15 metres is the defined portion of the dynamic beach; the active beach zone and portion of the dune complex which would be affected by wave action during the 100-year flood plus wave uprush event (or historical storm event causing dune cliffing or erosion). (See Figure 19)

2) Lakeshore Area 2

Flood Hazard (not applicable).

? **Erosion Hazard** — That area of the shoreline located landward (or inland) from Lakeshore Area 1 (being the stable slope line) and extending to the 100-year erosion setback line, or extending landward from the top of the unaltered lake bluff measured a distance of 30 metres, whichever is greater (see Figure 18).

? **Dynamic Beach Hazard** — That area landward (or inland) from Lakeshore Area 1 (the flooding hazard plus the defined portion of the dynamic beach) to

where water erosion ceases to influence dune morphology and wind erosion creates embryo and foredunes with sparse vegetative cover established. This distance is a minimum of 15 metres landward from Lakeshore Area 1, however generally extends over the entire dune area stretching to the shore-parallel road. (See Figure 19)

3) Lakeshore Region

This general description, termed the 'Lakeshore Region', lies outside the Lakeshore Hazard Area and the shoreline hazard policies of the Provincial Policy Statement. It is defined as the area landward from Lakeshore Area 2 which may still have peripheral influences on the shoreline environment (i.e. drainage, lakebank seepage, overall lakebank weight and loading). The 'Lakeshore Region' designation allows for both new development and redevelopment of existing houses. It is defined by a physical feature along the shoreline rather than a setback distance.

* North of Grand Bend, the lakeshore region is defined as west of Highway #21. North of Grand Bend, the most important factor influencing the Lakeshore Hazard Area is the issue of drainage. Municipal drains are common; their location emptying into ravines near the shoreline can create erosion and slope instability if not properly constructed and maintained.

* South of Grand Bend, the region varies depending on topography but is generally bordered by the lakeshore parallel road system (Huron Place/Beach O'Pines and Lakeshore Drive/Southcott Pines). These roadways limit the landward extent of dynamic beach profile adjustment. Where it is easily identified, the dune ridge is used. South of Grand Bend, the most important factor influencing the Lakeshore Hazard Area is vegetation over relic dune deposits. Dunes inland from the dynamic beach hazard are the product of a historic lake climate and conditions that no longer exist; they are therefore relic features that will not be easily repaired if damage occurs. Proper management of vegetation is therefore essential.

This region does not extend into the Villages of Bayfield or Grand Bend because of existing urban development controls. Boundaries here require further research (Section 5.3, item f); consideration should be given to the use of Wyoming Moraine as the boundary instead of Highway #21.

LAKESHORE DEVELOPMENT GUIDELINES, CONTINUED

SECTION 3.3.6 LAKESHORE DEVELOPMENT GUIDELINES

In an attempt to provide clear direction to lakeshore municipalities and lakeshore landowners, guidelines are proposed to assist in the wise management of existing residential development. These guidelines consist of criteria for such structures as additions, accessory buildings, infilling of residences on existing lots, decks, pools and septic systems. They provide direction on such activities as relocating buildings landward, rebuilding residences, severing new lots, rezoning and changes in land use designations. The information is summarized in table form in the following section (see Section 3.3.7).

All of these guidelines relate to potential impact from flooding, erosion, or the dynamic nature of sand dunes along the shoreline. They are provided within the context of the Provincial Policy Statement and from existing requirements which have not been specifically articulated for the lakeshore region.

For example, much of the existing development within the bluff portion of the lakeshore is contained within a 30-metre construction setback requirement from top of bank as described within municipal comprehensive zoning by-laws. This leads to legally existing, non-complying residential structures along much of the lake bluff; approval by minor variance from the local municipal committee of adjustment is required for any substantial change to these buildings. These guidelines provide criteria to assist in reviewing such applications for minor variance in a consistent manner.

As a second example, individual sewage disposal systems, or septic systems, have been installed along the lakeshore based on a minimum top of bank setback which varied depending on the condition of the lakebank at the time of inspection. However, where possible, it was suggested that the system be located landward of the house for slope stability reasons. This statement is also supported by Recommendation #37 in the *Rural Servicing Study (Huron County, 1993)* which gave specific consideration to lakeshore development. This SMP provides lakebank descriptions more detailed than previously available, thereby improving the lifespan and reducing adverse effects of new systems in the lakeshore area by suggesting siting criteria to reflect the lakebank's stability. Where lot size is inadequate and restricts proper system siting, such alternative options as using adjacent vacant property or communal systems should be investigated. In both cases, registration on title of the septic system is required to ensure clear ownership and future maintenance.

As a third and last example, the issues of relocating residences landward and rebuilding residences which were demolished are included in this policy. In both cases, these actions can be beneficial to the safety and lifespan of the buildings when the maximum lot depth landward is used to avoid a potentially hazardous building site nearer to the lakeshore.

The word 'movable' is used to describe buildings that can be transported landward to a new site on the existing lot or to a new lot, thereby increasing long-term safety and building lifespan. Such factors as size and type of foundation, clearance along roadways, and location of a suitable site nearby need consideration.

Major limitations to relocating or rebuilding structures are the size and construction style of the building (and therefore, feasibility of moving), as well as availability of a site for relocation. The cost of moving typical single-family dwellings can be relatively small compared to providing protection works; limiting factors are usually the width and height of the house. Width must be less than the clearance along roadways (between trees, hydro poles) and the height lower than overhead clearance (under overhead wires, bridges). Houses with slab foundations, concrete block walls, extensive brick or stone work or large unusual shapes are often impracticable to move. The greatest cost associated with relocation may be in acquiring an additional parcel of land if setbacks do not permit relocating on the same property. Even when moving a structure is impossible, complete rebuilding may be less expensive than long-term coastal protection (Griggs, 1986).

As a form of prevention, relocation is effective for mitigating flood, erosion and dynamic beach hazards for existing buildings. Prevention often proves to be less costly than protection, especially in areas of high to severe erosion. Many owners invest so much in protection (including materials, construction and future maintenance) that they essentially 're-buy' their house and land every 20 years, and in most cases their land continues to erode (Robbins et al, 1981). In many instances a benefit-cost analysis may suggest that acquisition and/or removal/relocation of buildings from flood and/or erosion-susceptible shorelines is more appropriate than implementation of protective works. Any such acquisition should be undertaken on a willing buyer/willing seller arrangement.

When development or rebuilding is contemplated, the hazards must be considered — including, but not limited to, the following considerations:

GOOD
NOTE
*

LAKESHORE DEVELOPMENT GUIDELINES, CONTINUED**Bluffs**

- a site-specific geotechnical investigation to determine the stable slope plus a setback for 100 years of erosion in areas subject to low erosion. Conversely, those areas experiencing long-term calculated erosion rates greater than 0.3 in/yr. should use 3:1 stable slope criteria plus the 100-year erosion rate to safely consider any development changes;
- assessment of the effectiveness of structural protection which exists at the site, including monitoring results, where available;
- assessment of mobility of the residential or accessory building (size of building and type of foundation, available room on existing lot landward of the hazard, and consideration for road layout of the subdivision allowing relocation of the building);
- assessment of drainage (existing improvements and their effectiveness) and include assessment of existing or proposed siting of sewage treatment facilities.

Beach Level

- assessment of lot area above and below the bluff (e.g. alternate siting);
- site-specific geotechnical investigation for slopes adjacent to the site;
- assessment of potential for flood hazard and ice damage;
- assessment of existing or proposed siting of sewage treatment facility.

Sand Dunes

- assessment of impact on dunes (degree of alteration);
- restoration and re-vegetation of disturbed sand dune area;
- assessment of dune slope stability;
- feasibility of nourishment of the beach region;
- location and sensitivity of affected dune feature;
- assessment of existing or proposed siting of sewage treatment facility.

LAKESHORE DEVELOPMENT GUIDELINES, CONTINUED

SECTION 3.3.7 - Lakeshore Development Guidelines Summary

Development Activity	Lakeshore Area 1 ♦			Lakeshore Area 2 ♦	
Existing Developed Lots	Dune	Flood	Bluff	Dune	Bluff
Repairs/maintenance	✓	✓	✓	✓	✓
Interior alterations	✓	✓	✓	✓	✓
Minor additions *	x	x	Conditional ¹	✓ provided no encroachment into Lakeshore Area 1	✓
Major additions *	x	x	x	landward of foredune	design is movable
Unattached garages	x	x	x	landward of foredune	design is movable
Rebuilding of dwelling destroyed by forces other than flooding & erosion	✓ if same size and utilizes maximum lot depth (most landward location)			✓ dune - if design minimizes dune impact	✓ bluff - if structure is movable *
Rebuilding of dwelling destroyed by flooding and/or erosion	x	x	x	x	x
Relocation of dwelling away from shoreline	Optional, on the part of the owner; however, recommended			Owner should consider this as a future option, depending on severity of the hazard	
Minor Structures *	x	x	Conditional ²	Conditional ³	Conditional ²
Swimming pools	x	x	x	Conditional ³	✓ Provided drainage is addressed
New septic systems	x	x	x	Conditional ³	Conditional ⁴
Decks (existing)					
Repair and maintenance	✓	✓	✓	✓	✓
Decks (new)	x	x	No closer than 3m to top of bank and not connected to dwelling	If landward of the foredune (see Figure 17)	✓
Existing Vacant Lots (Infilling)					
New dwellings	x	x	x	Conditional ⁵	Conditional ⁵
Septic systems	x	x	x	Conditional ⁴	Conditional ⁴
New Development					
Creation of New Lot(s) (i.e. severances, subdivisions)	x	x	x	x	x
Technical Severance	✓	✓	✓	✓	✓
Lot Consolidation	✓	✓	✓	✓	✓
Land use designation/zone changes	Support changes to planning documents to Hazard, Natural Environment or Open Space designations			Support changes to planning documents to a lakeshore overlay (subscript "L") designation	
	Do not support proposed zoning, land use designation or official plan changes which further intensify land use, i.e. seasonal residential to multi-unit dwelling.				

LEGEND

✓ allowed

x not allowed

♦ on a site-specific basis/study, where calculated erosion rates are low (less than 0.3 m/yr); these boundaries may be adjusted

* refer to Glossary (Appendix A) for full definition

- a minor addition is equal to less than 30% of total existing foundation area

- a major addition is equal to or greater than 30% of total existing foundation area

- a minor structure is a portable building (storage shed, gazebo) with no utilities and maximum size 14 sq.m.

DOES NOT INCLUDE SHORE PROTECTION DEVICES.

- a technical severance is a boundary adjustment where no new lot is created

* movable design considerations are only necessary where long-term erosion rate calculations apply

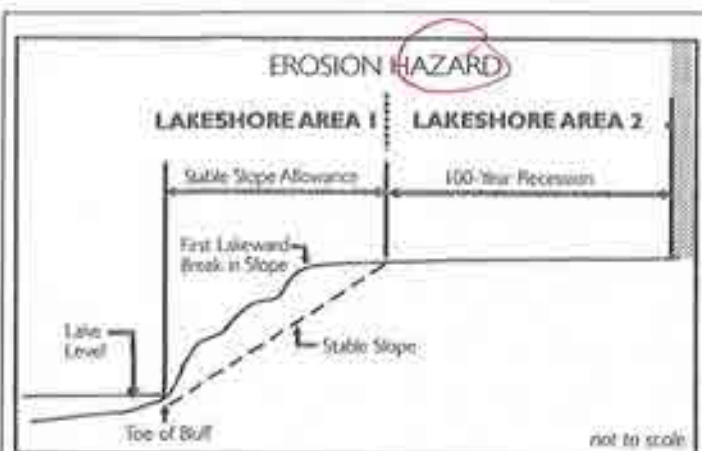
Conditional¹ - yes, provided calculated erosion rate is less than 0.3 m/yr; slope stability is addressedConditional² - yes, provided structure is island from primary dwelling if calculated erosion rates are greater than 0.3 m/yrConditional³ - yes, provided dune restoration is implemented and/or provided no encroachment into Lakeshore Area 1Conditional⁴ - yes, and it is recommended to be landward of primary dwelling & conforms to setbacks as required under Building CodeConditional⁵ - yes, provided that building is movable by design, impact to dunes is minimized, and provided that more than 50% of existing lots/parcels in the residential/cottage area are developed

NOTE: Please refer to text in the previous section (3.3.6) for a complete description. All of the above is subject to appropriate setbacks and maximum lot coverage requirements as listed in municipal zoning by-laws.

LAKESHORE DEVELOPMENT GUIDELINES, CONTINUED



Figure 17 - Flood Hazard



...OR...

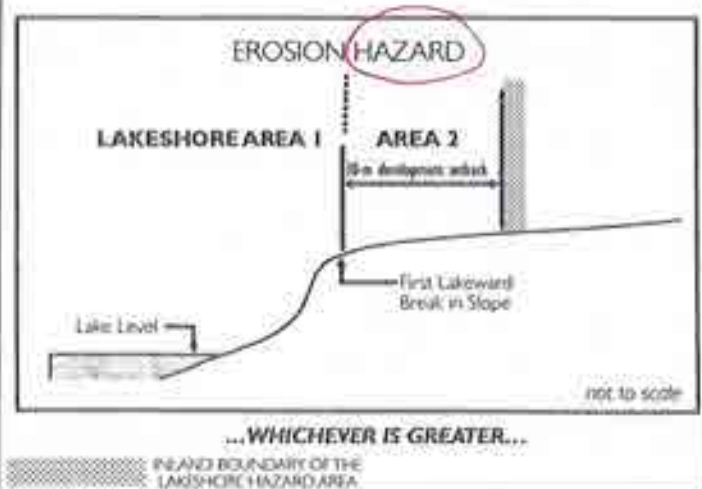


Figure 18 - Erosion Hazard

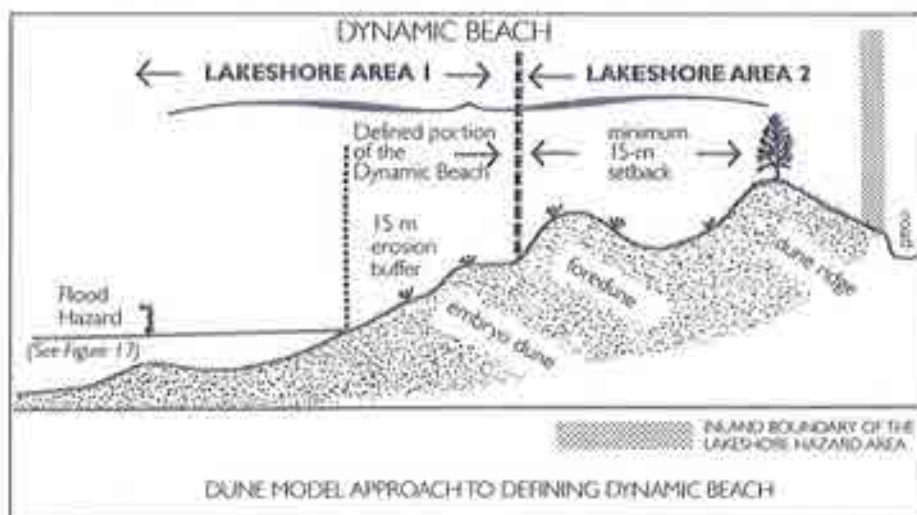


Figure 19 - Dynamic Beach Hazard

OTHER DEFINITIONS:

SOUTH & CENTRAL HURON

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2.2.2 Natural Environment (MOSH)

The lakeshore, rivers, streams, wetlands, upland forests and other wildlife habitats make up South Huron's natural environment. Over time the quality and quantity of the natural environment has been seriously depleted. Protection of these remaining critical areas, and reestablishment of vegetation corridors along major watercourses, is necessary to limit erosion by wind and water, to provide for water retention, filtration and recharge, to provide wildlife habitat and to generally strike an aesthetic and functional balance between agricultural use of the land and the natural ecosystem. The protection and enhancement of natural areas is a basic principle of this plan.

USEFUL REFERENCE TO THIS EXERCISE

2.2 Natural Environment (CENTRAL HURON /SAME LAKE)

Central Huron's natural environment consists of the lakeshore, watercourses, valleylands, wetlands, woodlots, Area of Natural and Scientific Interest (ANSIs), and other environmentally sensitive areas. Over time, land use activities and clearing practices have resulted in natural environment areas that are often of poor health and lacking integrity and linkages. In 2006, approximately 23.8% of the Municipality (108 square kilometres) was covered by forest or natural environment. Approximately 8% of the Central Huron land area classified as marginal lands is currently in agricultural use. This Plan establishes a target forest and natural environment coverage of 20% as a first step towards improved environmental health. This can be accomplished in a number of ways including planting trees in marginal agricultural lands.

Protecting remaining natural areas and re-establishing vegetation corridors along major watercourses is necessary to limit erosion by wind and water, to provide water retention and recharge areas, to provide wildlife habitat, and to create an aesthetic and functional balance between agricultural uses and natural ecosystems.

The Bayfield and Maitland River Valleys have been identified as significant natural features in southern Ontario. These areas contain Carolinian and sub-arctic species, provincially and locally significant plant and animal species, and are two of the most productive and biologically diverse habitats in Ontario.

A basic principle of this Plan is to support protection, restoration and enhancement of the ecosystems in Central Huron.

2.2.3 Urban Settlements (MOSH)

South Huron has a system of urban settlement places including a town, villages and hamlets.

These urban places provide a variety of residential, commercial, industrial and institutional functions. Exeter, as the major urban settlement in South Huron provides a range of services that extend well beyond the boundaries of South Huron. South Huron's urban settlements also provide a place of retirement for the community and nearby regional centres.

Although some of the settlement areas are very small by urban standards, they provide an important focal point, a sense of history and a number of services for the surrounding community.

The extent of future development in the urban settlements of South Huron will be based on the availability of servicing and evolving demographic and population trends in South Huron, and Ontario more generally. It is the intent of this plan that Exeter will continue to function as the major urban service centre in South Huron, while Stephen and Osborne will remain as predominately rural communities. Residential development within Stephen and Osborne will be directed to lands already designated in hamlets and villages.

The residents of South Huron highly value a sense of community, and the unique community that is a part of living in rural Ontario. At the public meetings the community discussed economic development for South Huron, and the critical importance of a strong commercial and industrial tax base. They want local schools available for their children, and they want to create a place where younger generations will stay, or return to after completing post-secondary education. They value the clean air, water and healthy environment, and the safety and easily accessible amenities in their community.

Building on the comments made by the public, the following basic principles of the urban settlement section are:

- Recognize Exeter as the major urban center in South Huron.
- Promote the development of urban places based on their level of servicing. These areas should continue to fulfill their role as focal points for the community.
- Promote industrial growth in existing urban settlements in South Huron and through the continued development of Huron Park as an industrial park.
- Strengthen, seek out and encourage development that will have a positive economic impact and is in keeping with the character of the community.
- Provide urban open space and recreational areas that serves the needs of South Huron residents at the neighbourhood, community and regional level.

- Recognize existing urban development adjacent to the urban settlement of Exeter and Grand Bend. Expansion of these urban areas will be based on the availability of public water and sewer and a demonstrated need for the urban use and the prevention of fringe or sprawl development patterns.
- Recognize existing mobile home parks. Mobile homes are encouraged to locate in mobile home parks.
- Encourage non-farm uses to locate in urban designated areas to minimize land use conflicts in the agricultural areas.

2.2.5 Recreation (MOSH)

The basic principles primarily address recreational activity which is focused on those lands in proximity to Lake Huron (west of Highway 21 and North of Grand Bend). Although geographically a confined area, and not likely to expand, it plays an important role in the South Huron community.

This important area is also sensitive to change -- protecting the character and natural attributes of this area is a key principle of this plan.

A basic principle is to allow additional recreational development in accordance with Provincial Policy in limited amounts. There is a related principle of ensuring harmony with the neighbouring agricultural practices by restricting the intrusion of recreational activity into agricultural areas and by promoting responsible agricultural practices in proximity to existing recreational areas.

It is also important to note that there are a number of different types of recreational uses in South Huron. These uses include both passive and active recreational activities, including open space, parks, and recreational centres. For recreational uses located in urban areas, basic principles are found under the urban policies.

USEFUL REFERENCE TO THIS EXERCISE

2.4 Lakeshore Residential and Recreational (CENTRAL HURON /SAME LAKE)

Lakeshore Residential areas are along the Lake Huron shoreline. The lakeshore is particularly important because of the recreational, residential and tourist services it offers. The existing seasonal residential community has developed in attractive natural areas of the municipality. The lakeshore environment is fragile. Future development must be responsive to the needs of existing development, demonstrate environmental responsibility, and not impact sensitive natural areas. In order to minimize environmental stresses and promote cost-effective development, future development will occur according to the servicing hierarchy established by local and provincial policy.

Recreational areas are in the area North of Bayfield, along the Lake Huron shoreline, in the Maitland River Valley and on Hwy 8.

The intent of this Plan is to allow additional Lakeshore Residential and Recreational development in existing designated areas where adequate servicing is available and with the least amount of impact on the lakeshore, natural environment and agriculture. Both Lakeshore Residential and Recreational development will be confined to pre-designated areas; encroachment of Lakeshore Residential and Recreational activity

into agricultural areas will be discouraged. Responsible agricultural practices will be promoted in proximity to existing recreational areas.

The following basic principles direct development in the Lakeshore Residential and Recreational areas:

- Protecting the natural heritage of the lakeshore and ensuring that the air, water, land and natural areas are respected and enhanced. Examples of encouraged practices include: vegetative buffers to reduce erosion; tree planting; and the protection of farmland and natural areas.
- Maintaining and increasing public access to the waterfront, including the consideration of view corridors and the possibility of placing height limits on development.
- Developing a long-term servicing plan for water, sewer and storm water management systems, and improving public understanding of servicing, and responsible septic and water system operation and maintenance. Long-term servicing goals include:
 - extending public water and sewer from Bayfield and from Goderich;
 - ensuring development density respects the level of servicing;
 - addressing water contamination and improve the operation of private septic systems;
 - meeting the need for affordable, effective and safe water, sewer and storm water management services.

2.5 Open Space and Parkland

Open Space and Parkland serve many functions, including recreation, tourism, beautification, separating conflicting uses, and providing a variety of urban ecosystem services such as shade, noise buffer and improved air quality. Open Space and Parkland is throughout the Municipality, in urban and rural areas, and along the lakeshore.

A basic principle of this Plan is to direct and encourage the development of Open Space and Parkland to meet the needs of the community, provide diverse recreational opportunities promoting tourism and protecting unique or fragile natural landscapes and environments. The Municipality recognizes that the demographics of the community in Central Huron are changing as the average age of the population is increasing. Open Space and Parkland will be developed to meet the needs of this population with walking trails, wheel chair accessible areas, and recreational facilities for seniors. Also, parkland will be part of new subdivision development.

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