

PUBLIC MEETING AGENDA RECORD

The following applications are scheduled to be heard by the Public Meeting on Monday, May 1, 2023, at 5:00 P.M. at the following location and in the order stated below.

LOCATION:

Hybrid.

MEETING DESCRIPTION:

ITEM	ROLL#	PERMIT NUMBER	APPLICANTS	ADDRESS	DESCRIPTION
1	4010040026010020000	Shu-Z-2023-2	Scott Patterson	70948 BLUEWATER HIGHWAY	The amendment changes the zoning of the lands proposed for the expansion of the Home Hardware Building Centre's lumber yard from AG1 (General Agriculture) to C3-14 (Highway Commercial – Special Provisions) to permit the lumber yard in this area and match the zoning of the rest of the lands used for the building centre. This By-law amends Zoning By-law #69-2018 of the Municipality of South Huron

**B. General information**

What is the purpose of and reasons for the proposed amendment(s)?

The subject property is currently developed and utilized as a Home Hardware Building Centre. In 2011 a Zoning By-Law Amendment was passed for the subject lands that added "Home Improvement Centre" as a permitted use and allowed storage containers as a permitted accessory use. The zoning applied at that time was "HC1-13" and was applicable to 4.05ha (10ac) of the larger 22.8ac overall site. Site Plan Approval was also secured to support the operation of the site for the building centre operations. The Site Plan reflected two distinct areas of the site. The first being the area to be developed and utilized for the building centre and additional land area identified as future site development. The combined land area identified in the site plan reflected the 10ac that was appropriately zoned at the time. The zoning passed at the time could not have progressed if the proposal was not in conformity with the Official Plan. The land use designation for 10ac of the property is "Highway Commercial". The rezoned area and area defined on the site plan was in accordance with the land use designation. HHSL are wishing to expand their lumber yard area into the portion of their property that was previously identified as future site development. In that regard, Mr. Matt Runge of MR Engineering and Design had a meeting with municipal staff on January 10th, 2023 regarding a site plan amendment. It was at this time, via Mr. Runge, that HHSL was advised that the zoning of their property had been changed and that in order for the lumber yard expansion to proceed a rezoning would be required. Patterson Planning Consultants followed up with Mr. Craig Metzger, Senior Planner with the County of Huron, to further discuss the need for a zoning amendment. On February 23rd, 2023 Mr. Metzger confirmed: a. The area of the proposed lumber yard expansion matches the area previously zoned HC1-13 in the former Stephen Zoning By-law; b. The lumber yard expansion area is designated Highway Commercial in the South Huron Official Plan; c. The current C3-14 on the property permitting the home improvement centre does not include the lands for the proposed lumber yard expansion which are currently zoned AG1 and do not permit a home improvement centre; and d. A rezoning of the lumber yard expansion area to C3-14 is necessary

Name, address, phone of all persons having any mortgage, charge, debenture or encumbrance on the property

Name	Address	Phone

What area does the amendment cover?

☐ The "entire" property

☒ Just a "portion" of the property

Area (hectares) 1.34	Depth 138.6 m	Frontage (width) 77.9 m
Is any of the land in wellhead protection area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown		

What is the current planning status?

Official Plan Designation Highway Commercial	Zoning C3-14 and AG1
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List land uses that are permitted by current Official Plan designation

Highway Commercial Uses including a Home Hardware Building Centre

C. Existing and proposed land uses and buildings			
What is the "existing" use of the land? Home Hardware Building Centre and other lands owned by Home Hardware.			
How long have the existing uses continued on the subject land? Greater than 10 years			
What is the "proposed" use of the land? An extension of the lumber yard area. This requires rezoning all of the lands C3-14 to match the area designated for this land use. Site Plan approval is also required.			
Provide the following detail for all buildings			
Are any building proposed to be built on subject land? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Existing		Proposed	
Type of Building(s)			
Main Building Height			
Lot Coverage			
Number of Parking Spaces			
Number of Loading Spaces			
Number of Floors			
Total Floor Area			
Ground Floor Area (exclude basement)			
Building Dimensions			
	Date of construction for existing building	Date of construction for proposed building	
Setback from Buildings to	Front of Lot Line 26.97	Rear to Lot Line 155.05	Side to Lot Line 2.28

D. Existing and Proposed Services

Indicate the Applicable Water Supply and Sewage Disposal

Type of Disposal

Municipal Water	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Well	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Municipal Sewers	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Sewers	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed

If the requested amendment would permit development on a privately owned and operated individual or communal septic system, and more than 4500 liters of effluent would be produced per day as a result of the development being completed, the applicant MUST submit a servicing options report and a hydrogeological report.

How will storm drainage be provided? <input type="checkbox"/> Sewers <input type="checkbox"/> Ditches <input type="checkbox"/> Swales <input checked="" type="checkbox"/> Other	If other, please specify on site retention	Is storm drainage present or will it be constructed? <input checked="" type="checkbox"/> Present <input type="checkbox"/> Will be constructed
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Type of Access (check appropriate box)

- | | | |
|--|--|---------------------------------------|
| <input checked="" type="checkbox"/> Provincial Highway | <input type="checkbox"/> Municipal Road, seasonally maintained | <input type="checkbox"/> County Roads |
| <input type="checkbox"/> Right of Way | <input type="checkbox"/> Municipal Roads, maintained all year | <input type="checkbox"/> Water Access |
| <input type="checkbox"/> Private Road | | |

F. Zoning By-law Amendment		
Proceed to 'Section H. Related Planning Applications' if a Zoning By-Law Amendment is not proposed		
Does the proposed Zoning By-law amendment add or change zoning designation in the Zoning By-Law? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown	Does the proposed Zoning By-law amendment change a zoning provision in the Zoning By-Law? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown	Does the proposed Zoning By-law amendment replace the zoning provision in the Zoning By-Law? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown
Does the proposed Zoning By-law amendment delete a zoning provision in the Zoning By-Law? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown	Does the proposed Zoning By-law amendment add a zoning provision in the Zoning By-Law? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown	
If applicable and known at the time of Zoning Application, provide the following information:		
Section Number(s) of provision to be changed C3-14	Has the text of the proposed new policy been uploaded to this application as an attachment? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Name of new zone Extension of C3-14 zone across more of the property	Has a map of the proposed new Key Map been uploaded to the application as an attachment? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
List land uses proposed by Zoning amendment Home Improvement Centre		
Has there been a previous application for rezoning under Section 34 of the Planning Act affecting the subject property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is the application for an amendment to the Zoning By-Law consistent with Provincial Policy Statement issued under Section 3(1) of the Planning Act? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is the intent of this application to implement an alteration to the boundary of an area settlement or to implement a new area of settlement? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Is the intent of this application to remove land from an area of employment? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

G. Sketch Checklist																	
ACCURATE, TO SCALE, DRAWING OR PROPOSAL:																	
⇒ Please attach a drawing of the proposal, preferably prepared by a qualified professional. In some cases, it may be more appropriate to prepare additional drawings at varying scales to better illustrate the proposal.																	
⇒ This application shall be accompanied by a clean, legible sketch sharing the following information. Failure to supply this information will result in a delay in processing the application.																	
A sketch showing in metric units:																	
<input checked="" type="checkbox"/> The boundaries and dimensions of the subject land;	<input checked="" type="checkbox"/> The location, size and type of all existing and proposed buildings and structure on the subject land, indicating their distance from the front lot line, rear lot line and side lot lines;	<input checked="" type="checkbox"/> The current uses of land that is adjacent to the subject land;															
<input checked="" type="checkbox"/> The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, or a private road or a right-of-way;	<input checked="" type="checkbox"/> If access to the subject land will be by water only, the location of the parking and docking facilities to be used;	<input checked="" type="checkbox"/> The location and nature of any easement affecting the subject land;															
<input checked="" type="checkbox"/> The approximate location of all natural and artificial features that are located on the subject land and on land that is adjacent to it, and in the applicant's opinion may affect the application																	
Examples of natural and artificial features: buildings, railways, roads, watercourses, drainage ditches, banks of river or streams, wetlands, wooded areas, wells and septic tanks																	
The drawings should show: (please use a survey if available)																	
<table><tr><td>- property boundaries and dimensions</td></tr><tr><td>- Dimensions of area of amendment</td></tr><tr><td>- Distance from structures to the lines</td></tr><tr><td>- Easements or restrictive covenants</td></tr><tr><td>- Building dimensions and location</td></tr><tr><td>- Neighbouring adjacent land uses</td></tr><tr><td>- Parking and loading areas</td></tr><tr><td>- Use of neighbouring properties</td></tr><tr><td>- Public roads, allowances, right of way</td></tr><tr><td>- Municipal drains/Award drains</td></tr><tr><td>- Wetlands, forested areas, ANSI's, ESA's</td></tr><tr><td>- Driveways and lanes</td></tr><tr><td>- Other features (bridges, wells, railways, septic systems, springs, slopes, gravel pits)</td></tr><tr><td>- Natural watercourses</td></tr><tr><td>- North arrow</td></tr></table>			- property boundaries and dimensions	- Dimensions of area of amendment	- Distance from structures to the lines	- Easements or restrictive covenants	- Building dimensions and location	- Neighbouring adjacent land uses	- Parking and loading areas	- Use of neighbouring properties	- Public roads, allowances, right of way	- Municipal drains/Award drains	- Wetlands, forested areas, ANSI's, ESA's	- Driveways and lanes	- Other features (bridges, wells, railways, septic systems, springs, slopes, gravel pits)	- Natural watercourses	- North arrow
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H. Other related planning applications

Has the applicant or owner made application for any of the following, either on or within 120 meters of the subject land?

Official Plan Amendment

☐ Yes

☒ No

Zoning By-Law Amendment

☐ Yes

☒ No

Minor Variance

☐ Yes

☒ No

Plan of Subdivision

☐ Yes

☒ No

Consent (Severance)

☐ Yes

☒ No

Site Plan Control

☐ Yes

☒ No

If the answer to the question above is YES, please provide the following information:

File number of application

0

Approval authority

n

Lands subject to application

n.a

Status of application

n.a

Purpose of application

n/a

Effect on the current application for amendment

n.a

I. Other supporting information

Please list the titles of any supporting documentation that has been attached to this application. (It is recognized that the applicant meets with planning staff to attempt to determine the supporting documents that will be required)

Cover letter was previously submitted. No additional studies have been requested.

J. Pre-submission consultation

Applicants are to contact the County to speak/meet with the Planner assigned to the Municipality before submitting an application.

Date of Applicant's consultation meeting with County Planner

2023-03-06

Has the Planner advised the Applicant that this application needs to be reviewed by the County Biologist for comments on Natural Heritage matters?

☐ Yes ☒ No

K. Public Consultation Strategy

Please outline your proposed strategy for consulting with the public with the respect to this amendment request
In accordance with the Planning Act requirements.

Septic comments

Please answer Section A OR Section B, depending on the type of servicing available. In the following questions, "property" means the subject property or, in the case of a severance, each of the resulting lots.

Section A - Where Sanitary Sewers are available

Is the property within 183 meters (600 feet) of an abattoir (slaughter house)?

☐ Yes ☒ No

Section B - Where Septic Systems are required

The application is for the creation of a new lot for which the primary use will be a dew dwelling (other than a new dwelling on a farm)

☐ Yes ☒ No

Is the property less than .4 hectares (1 acre) in area?

☐ Yes ☒ No

Does the property have less than .2 hectares (1/2 acre) of "usable land" for a septic tank and tile bed? See definition of "usable land" below

☐ Yes ☒ No

"Usable land" means an area of land suitable original soil for the installation of a Class 4 subsurface sewage disposal system, free of any buildings, structures swimming pools, etc. and such land is or will be used solely for a septic tank and tie bed and any future replacement of the tile bed, and which area is is at least 3 meters (10 feet) from any property line, at least 15 meters (15 feet) from a top-of-bank of a watercourse or lake, not located in a flood plain, not located in an environmentally sensitive area, and does not contain field tile or other artificial drainage. (Other restrictions may apply according to legislation)

I am uncertain of the location of the existing septic tank and tile bed on the property?

☐ Yes ☒ No

Will there be more than one dwelling unit on each lot?

☐ Yes ☒ No

An industrial or commercial use is proposed which will require a septic system?

☐ Yes ☒ No

Is the property within 183 meters (600 feet) of an abattoir (slaughter house)?

☐ Yes ☒ No

Is the application for a new Plan Subdivision/Condominium?

☐ Yes ☒ No

Patterson Planning Consultants Inc.

Digital Submission

Our File: P-479

March 2, 2023

Vanessa Culbert
Planning Coordinator
The Municipality of South Huron
PO Box 759, 322 Main Street South
Exeter, Ontario, Canada,
N0M 1S6

Dear Ms. Culbert:

**Re: 70948 Blue Water Highway
Grand Bend, Municipality of South Huron
Zoning By-Law Amendment Application
Home Hardware Stores Limited**

Patterson Planning Consultants Inc. is pleased to represent Home Hardware Stores Limited ("HHSL") regarding their property located at 70948 Blue Water Highway, north of Grand Bend in the Municipality of South Huron, County of Huron.

The subject property is currently developed and utilized as a Home Hardware Building Centre. In 2011 a Zoning By-Law Amendment was passed for the subject lands that added "Home Improvement Centre" as a permitted use and allowed storage containers as a permitted accessory use. The zoning applied at that time was "HC1-13" and was applicable to 4.05ha (10ac) of the larger 22.8ac overall site.

Site Plan Approval was also secured to support the operation of the site for the building centre operations. The Site Plan reflected two distinct areas of the site. The first being the area to be developed and utilized for the building centre and additional land area identified as future site development. The combined land area identified in the site plan reflected the 10ac that was appropriately zoned at the time.

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- a. The area of the proposed lumber yard expansion matches the area previously zoned HC1-13 in the former Stephen Zoning By-law;*
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- d. A rezoning of the lumber yard expansion area to C3-14 is necessary.*

Mr. Metzger further confirmed that the meeting held by Mr. Runge on January 23, 2023 would constitute the formal Pre-Consultation meeting regarding this matter. Further, it was confirmed that no studies will be required in support of the rezoning application.

Please accept this letter as part of our formal digital submission/ request for a Zoning By-law amendment to rezone the lumber yard expansion area to "C3-14" in conformity to the Official Plan and to support the success of the existing business.

The application fee of \$2067.00 payable to the Municipality of South Huron has been issued by HHSL and has been couriered to your attention.

Patterson Planning Consultants will also reach out to the MTO to discuss this application.

If you have any questions or require further information, please do not hesitate to contact the undersigned.

Yours truly,

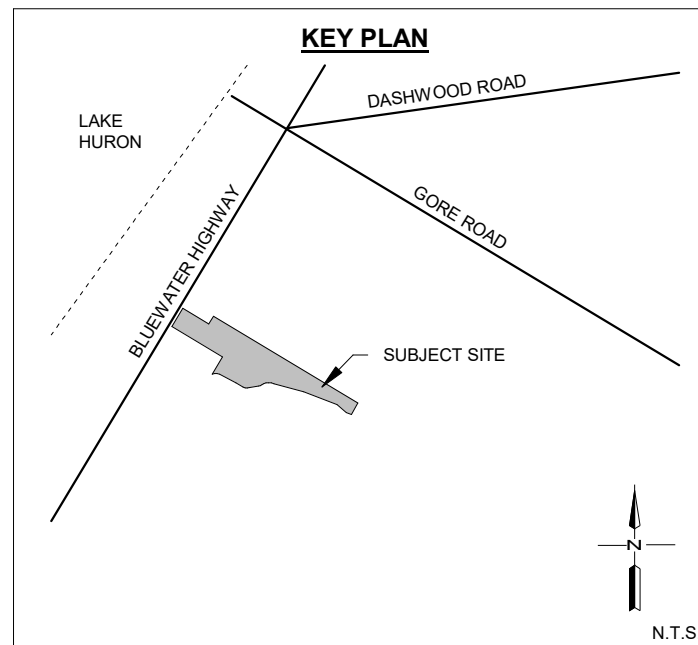
Patterson Planning Consultants Inc.



Scott J. Patterson, BA, CPT, MCIP, RPP
Principal

SP/s

BENCHMARK ELEVATION: 187.08 m
TOP NUT OF FIRE HYDRANT LOCATED ON
SUBJECT SITE AS LABELED ON THIS PLAN



DRAWING LIST

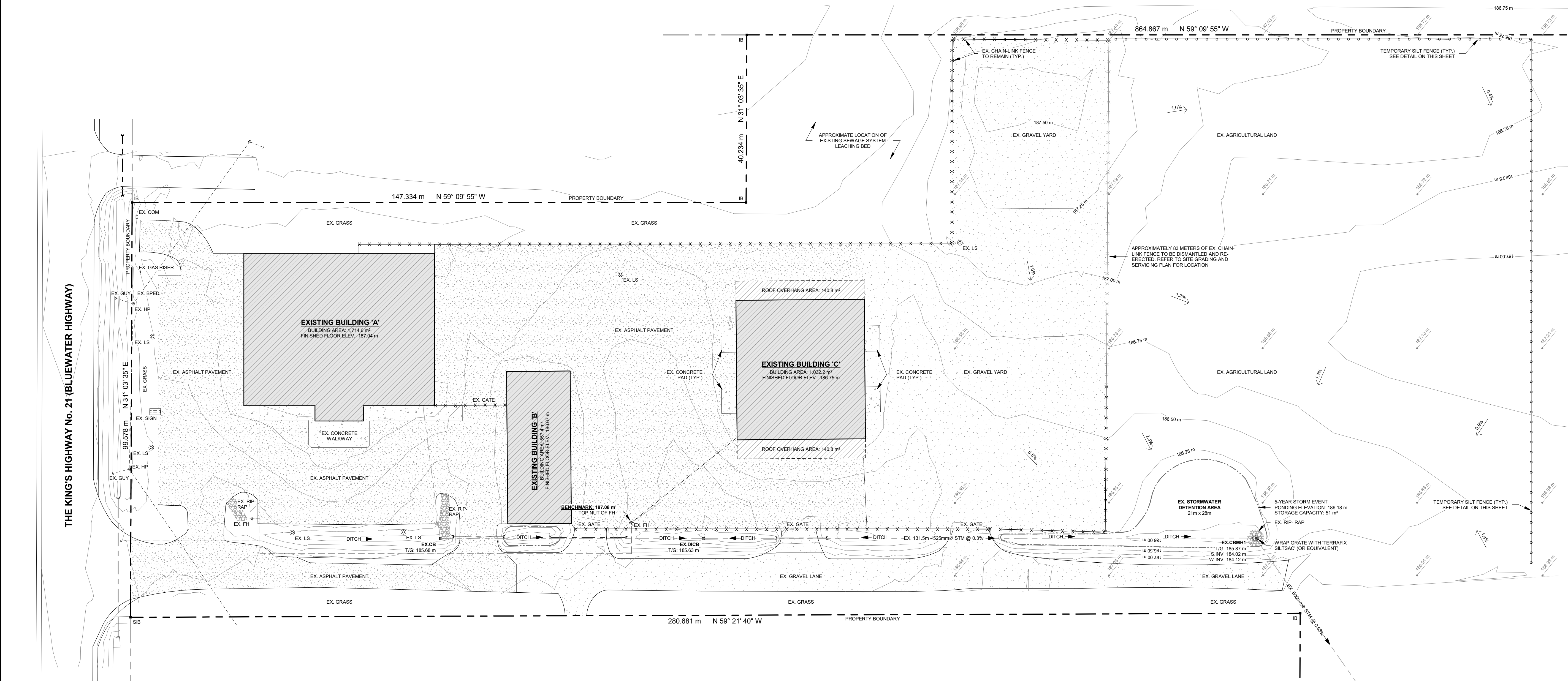
- C1 EXISTING CONDITIONS, REMOVALS AND EROSION CONTROL PLAN
C2 SITE GRADING AND SERVICING PLAN
C3 STORMWATER CATCHMENT AREA PLANS

GENERAL NOTES

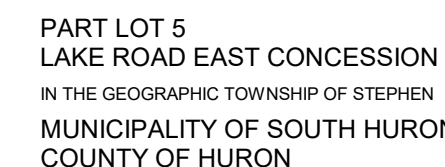
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS. REPORT ALL DISCREPANCIES TO THE MUNICIPALITY/ENGINEER AS SOON AS POSSIBLE.
2. THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS TO OBTAIN ALL UTILITY LOCATES. ALL EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY MAY BE SHOWN BY ALL WORKS ON THE MUNICIPAL RIGHT-OF-WAY TO BE APPROVED BY THE MUNICIPALITY AND LOCAL AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ALL BOULEVARD AREAS.
3. CONTRACTOR TO PROVIDE TRAFFIC CONTROL MEASURES IN COMPLIANCE WITH THE ONTARIO TRAFFIC MANUAL, BOOK 7 (LATEST EDITION) FOR ALL WORKS ON THE MUNICIPAL RIGHT-OF-WAY. THE CONTRACTOR SHALL PREPARE TRAFFIC CONTROL PLANS TO THE MUNICIPALITY/ENGINEER FOR REVIEW PRIOR TO COMMENCING WITH CONSTRUCTION.
4. PLAN TO BE READ IN CONJUNCTION WITH STORMWATER MANAGEMENT PLAN AND DRAINAGE DESIGN PLAN. MEETING AND DESIGN LAYOUTS.

SEDIMENT AND EROSION CONTROL

1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION. PROTECT ALL CATCH BASINS, MAINTENANCE HOLES AND PIPES FROM SEDIMENT INTRUSION WITH GEOTEXTILE FABRIC (0.075 EQ. EQUAL).
2. CONTRACTOR TO INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL EROSION IS COMPLETE AND VEGETATIVE COVER IS ESTABLISHED.
3. SEDIMENT AND EROSION CONTROL MEASURES TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL.
4. CONTRACTOR TO CLEAN ROADWAY AND SIDEWALKS OF SEDIMENT RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.
5. FOLLOWING COMPLETION OF THE PROPOSED WORKS, ALL STORM AND SANITARY SEWERS ARE TO BE FLUSHED, AND ALL CATCH BASIN AND MAINTENANCE HOLES SURVEYED AND CLEANED BY THE CONSULTANT.
6. SEE STORMWATER MANAGEMENT BRIEF PREPARED BY MR. ENGINEERING AND DESIGN LTD. FOR ONGOING MAINTENANCE RECOMMENDATIONS.

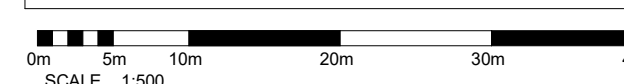


1 EXISTING CONDITIONS PLAN
1 : 500



NOTES

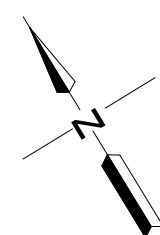
1. PROPERTY BOUNDARY FROM PLAN OF SURVEY, PLAN No. Z-790, DATED APRIL 5, 1974, BY ARCHIBALD, GRAY & McKay ARCHITECTS, ONTARIO LAND SURVEYORS, LONDON, ONTARIO.
2. EXISTING SITE FEATURES FROM TOPOGRAPHIC SURVEY COMPLETED BY MR ENGINEERING AND DESIGN LTD., DATE AUGUST 25, 2022.
3. SITE SKETCH IS CONCEPTUAL. FINAL SITING BY OTHERS.
4. THIS IS NOT A LEGAL SURVEY.



NOTES:

- | | | | |
|-----|-------------------------|-------|-------------------|
| @ | AT | QHD | OVERHEAD DOOR |
| AW | COMPLETE WITH | PROJ. | PROTECTION |
| D | DIAMETER | P.T. | PRESSURE TREATED |
| R | FIRE-RESISTANCE RATING | R/W | REINFORCED WITH |
| FDN | FOUNDATION | SG | SIDE GATE |
| EX | EASE WAY | T&G | TONGUE AND GROOVE |
| EX | EXISTING | TO | TOP OF |
| H | HIGH/HORIZONTAL | TP | TYPICAL |
| HR | HIGH | UTS | UNDERSIDE |
| LLV | LONG LEG VERTICAL | V | VERTICAL |
| LVL | LAMINATED VANEER LUMBER | W | WIDTH |
| MAX | MAXIMUM | W | WIDE |
| MIN | MINIMUM | WWM | WELDED WIRE MESH |
| ORC | ONTARIO BUILDING CODE | | |
| ON | ON CENTER | | |

NORTH

[illegible]

CONSULTANT



145 Thames Road, West, Unit 4, Exeter, ON, N0M 1S3
Telephone: (519)-317-0128
Email: admin@mrengdesign.com

CONTRACTOR



70948 BLUEWATER HWY.
GRAND BEND, ON
NOM 1T0

HOME HARDWARE BUILDING CENTRE
YARD EXTENTION

EXISTING CONDITIONS, REMOVALS AND EROSION CONTROL PLAN

PROJECT No.

MR22-356





SHEET No.

C1

SCALE

As indicated

SITE LEGEND

BPED	BELL PEDESTAL
CB	CATCH BASIN
COM	COMMUNICATIONS BOX
CS	CURB STOP
FH	FIRE HYDRANT
GLUY	GUY WIRE
HP	HYDRO POLE
IB	IRON BAR
INV	INVERT
LS	LIGHT STANDARD
MH	MAINTENANCE HOLE
SAN	SANITARY SEWER
SIB	STANDARD IRON BAR
STM	STORM SEWER
T/G	TOP OF GRATE
WS	WATER SERVICE
WTM	WATERMAIN
WV	WATER VALVE
	EXISTING ELEVATION
190.00 m	PROPOSED ELEVATION
190.00 m —	ELEVATION CONTOUR
1.0%	DIRECTION AND SLOPE OF OVERLAND WATER FLOW
	PROPOSED SWALE
	ROOF WATER LEADER
	SIGN AND POST
	% OF PARKING SPACES

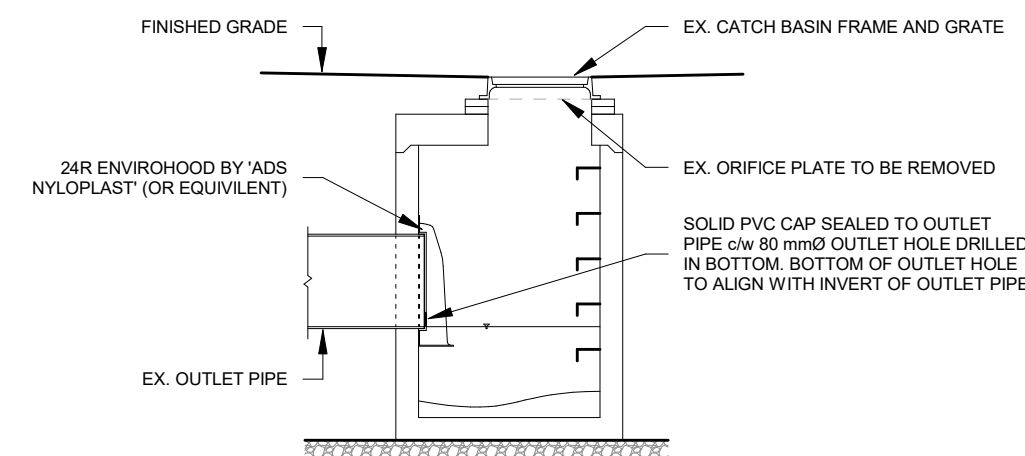
BENCHMARK ELEVATION: 187.08 m
 TOP NOT OF FIRE HYDRANT LOCATED ON THE
 SURFACE SITE AS LABELED ON THIS PLAN

GENERAL NOTES

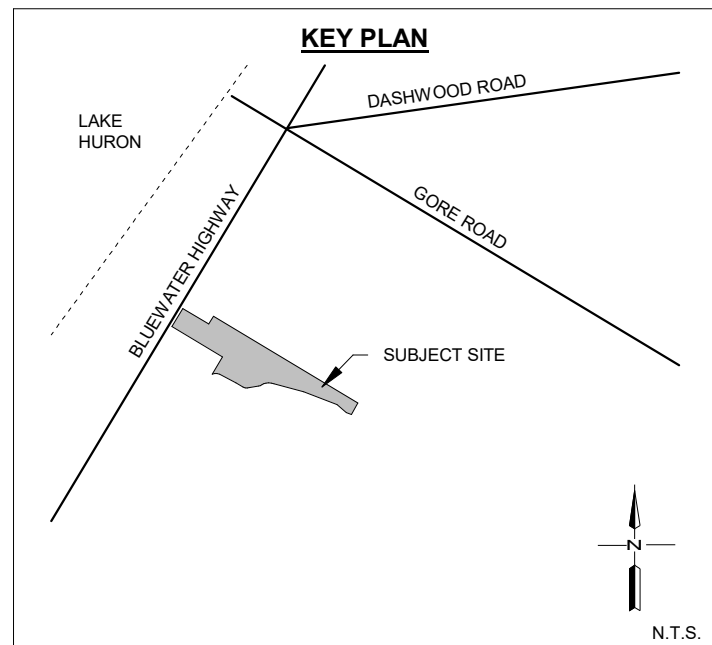
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STORM SEWERS AND DRAINAGE:

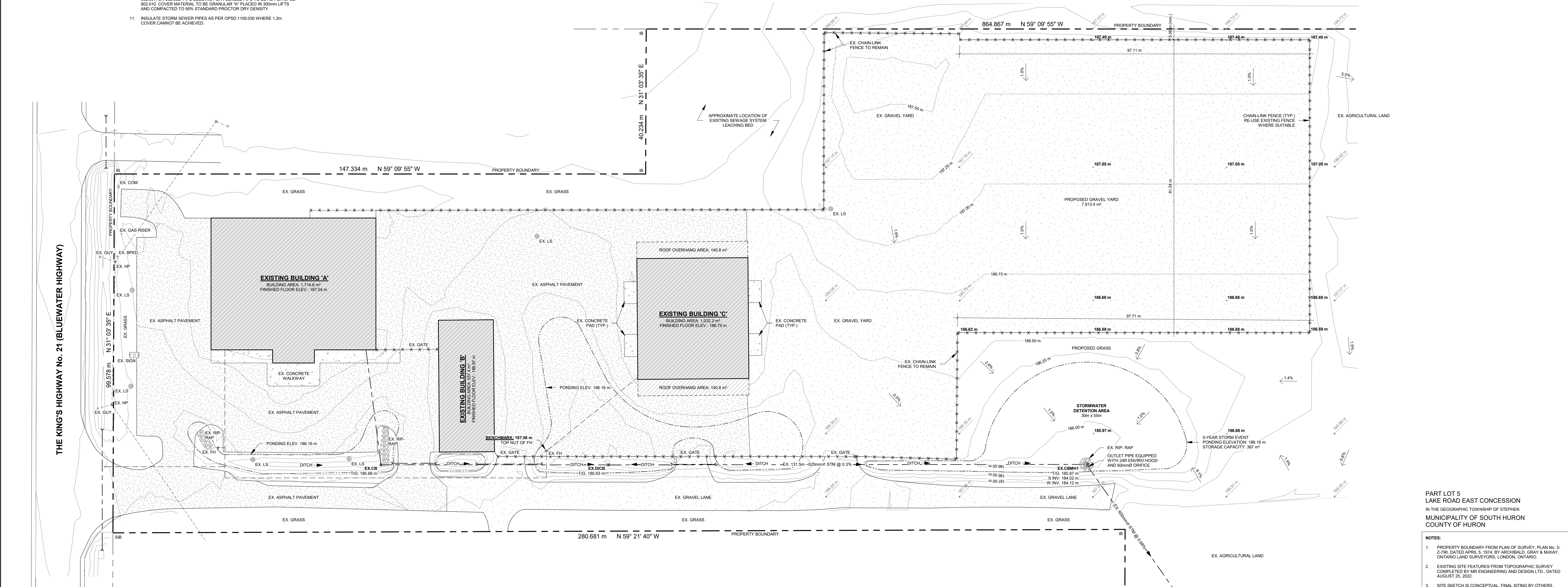
1. ALL FINISHED GRADTS TO DIRECT OVERLAND WATER FLOW AWAY FROM ALL STRUCTURES LOCATED ON SITE. MAINTAIN POSITIVE DRAINAGE TO ALL GRADTS.
2. BUILDING FOUNDATION WEEPING THE DRAINAGE NOT TO BE DIRECTLY CONNECTED TO THE STORM SEWER SYSTEM. WEEPING THE DRAINAGE TO BE DISCHARGED TO THE STREET OR TO THE STORM SEWER THROUGH A DRAINAGE MANHOLE.
3. CATCH BASINS TO BE 600mm x 600mm PRECAST CONCRETE CATCH BASIN AS PER SPDS 705.010 COMPLETE WITH CAST IN SITU SQUARE FRAME GRATES AS PER SPDS 400.100.
4. MAINTENANCE HOLES AND CATCH BASIN MANHOLES TO BE 300mm DIA. WITH 300mm CONC. WITH ALUMINUM STEPS AT 300mm x 400 AS PER SPDS 701.011. PRECAST CONCRETE SINGLE INLET FLAT CAP AS PER SPDS 701.011. CATCH BASIN GRATES TO BE 300mm x 400mm AS PER SPDS 400.100. ADJUSTMENTS (SPDS 704.010) AS REQUIRED. MAINTENANCE HOLES LIDS TO BE 300mm x 400mm x 100mm. CATCH BASIN GRATES TO BE AS PER SPDS 400.100.
5. DITCH INLET CATCH BASINS TO BE 600mm x 600mm PRECAST CONCRETE AS PER SPDS 705.010. WITH CONC. GRATES. DITCH INLET CATCH BASINS GRATES TO BE AS PER SPDS 400.100.
6. PROVIDE SPLASH PADS (OR EQUIV.) FOR ALL EAVES THROUGH DOWN SPOUTS THAT DISCHARGE AT GRADE.
7. STORM SEWERS, 150mm and SMALLER, SHALL BE POLYVINYL CHLORIDE (PVC) PIPE (PDS 82.010) WITH INTEGRAL BELL AND SPOUT UTILIZING FLEXIBLE ELASTOMERIC SEALTS.
8. STORM SEWERS, 200mm TO 375mm, SHALL BE POLYVINYL CHLORIDE (PVC) PIPE (PDS 82.010) WITH INTEGRAL BELL AND SPOUT UTILIZING FLEXIBLE ELASTOMERIC SEALTS. 375mm AND GREATER SHALL BE CAST IN SITU CONCRETE WITH INTEGRAL BELL AND SPOUT UTILIZING FLEXIBLE ELASTOMERIC SEALTS. RIGID PVC NOT TO BE USED WITH RIGID PIPE-CASE.
9. STORM SEWERS LARGER THAN 375mm SHALL BE IN 2:1 DUAL WALL HIGH DENSITY POLYETHYLENE (HDPE) PIPE WITH INTEGRAL BELL AND SPOUT UTILIZING SOFT-LIGHT GASKETS.
10. PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER SPDS 802.020. POLYETHYLENE PIPE SHALL BE CLASS "A" AS PER SPDS 802.020. COVER MATERIAL TO BE GRANULAR "A" PLACED IN 300mm LIDS AND COMPACTED TO 5% STANDARD PROCTOR DRY DENSITY.
11. INSULATE STORM SEWER PIPES AS PER SPDS 1108.050 WHERE 1.2m



② EX.CBMH1 ORIFICE DETAIL
1:50



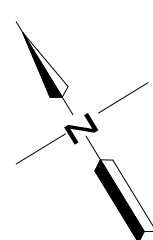
<u>STORMWATER CALCULATIONS</u>		
SURFACE	AREA	
CATCHMENT AREA	35,400 m ²	
EXISTING BUILDING	3,304.2 m ²	
EXISTING ASPHALT / CONCRETE / GRAVEL	13,850.6 m ²	
EXISTING GRASS	18,241.9 m ²	
EXISTING HARD SURFACE	17,155.1 m ²	(48.5 %)
PROPOSED BUILDING	3,304.2 m ²	
PROPOSED ASPHALT / CONCRETE / GRAVEL	21,754.4 m ²	
PROPOSED GRASS	10,330.4 m ²	
PROPOSED HARD SURFACE	25,068.6 m ²	(70.8 %)



1 SITE GRADING AND SERVICING PLAN
1 : 500

NOTES:			
@	AT	OHD	OVERHEAD DOOR
c/w	COMPLETE WITH	PROJ.	PROJECTION
	Ø	P.T.	PRESSURE TREATED
FRR	FIRE-RESISTANCE RATING	r/w	REINFORCED WITH
FND	FOUNDATION	SG	SLIDE GATE
elw	EACH WAY	T&G	TONGUE AND GROOVE
EX	EXISTING	TO	TOP OF
H	HIGH/SHORT	TYP.	TYPICAL
HR	HORIZONTAL	u/s	UNDERSIDE
LLV	LONG LEG VERTICAL	V	VERTICAL
LVL	LAMINATED VANEER LUMBER	w/	WITH
max.	MAXIMUM	W	WIDE
min.	MINIMUM	WWM	WELDED WIRE MESH
OBC	ONTARIO BUILDING CODE		
ON	ON CENTER		

NORTH



DESIGN	TM	No.	REVISION DESCRIPTION	MM/DD/YY	CHK'D
DRAWN	TM	1.	ISSUED FOR APPROVAL	11/28/22	MR
CHECKED	MR				
APPROVED	MR				
DATE	NOVEMBER 2022				

CONSULTANT



145 Thames Road, West, Unit 4, Exeter, ON, N0M 1S3
Telephone: (519)-317-0128
Email: admin@mrengdesign.com

CONTRACTOR

70948 BLUEWATER HWY.
GRAND BEND, ON
NOM 1T0

**HOME HARDWARE BUILDING CENTRE
YARD EXTENTION**

SITE GRADING AND SERVICING PLAN

PROJECT No.

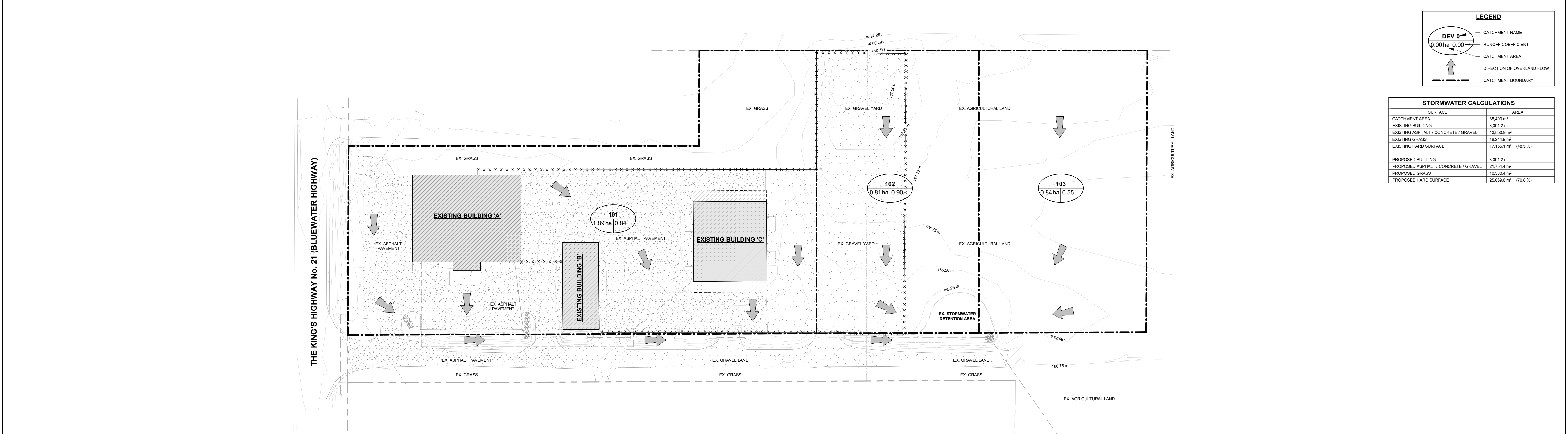
MR22-356

SHEET No.

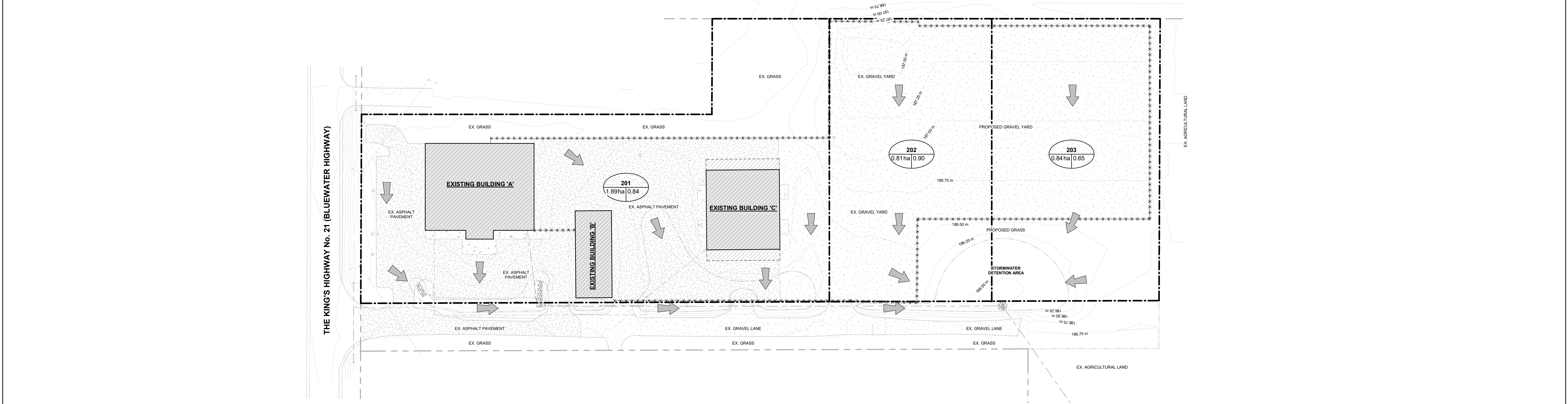
C2

SCALE

As indicated



1 EXISTING CATCHMENT AREA PLAN
1 : 750



2 PROPOSED CATCHMENT AREA PLAN
1 : 750

LEGEND

DEV-0
0.00 ha | 0.00

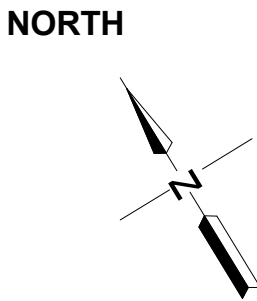
CATCHMENT NAME
RUNOFF COEFFICIENT
CATCHMENT AREA
DIRECTION OF OVERLAND FLOW
CATCHMENT BOUNDARY

STORMWATER CALCULATIONS		
SURFACE	AREA	
CATCHMENT AREA	35,400 m ²	
EXISTING BUILDING	3,304.2 m ²	
EXISTING ASPHALT / CONCRETE / GRAVEL	13,850.9 m ²	
EXISTING GRASS	18,344.9 m ²	
EXISTING HARD SURFACE	17,155.1 m ²	(48.5 %)
PROPOSED BUILDING	3,304.2 m ²	
PROPOSED ASPHALT / CONCRETE / GRAVEL	21,754.4 m ²	
PROPOSED GRASS	10,350.4 m ²	
PROPOSED HARD SURFACE	25,009.6 m ²	(70.8 %)

NOTES:

@ AT COMPLETE WITH
Ø DIAMETER
FRR FIRE-RESISTANCE RATING
FBN FOUNDATION
EW EACH WAY
EX EXISTING
H HORIZONTAL
HR HOUR
LLV LONG LEG VERTICAL
LVL LAMINATED VANEER LUMBER
max MAXIMUM
min MINIMUM
OBC ONTARIO BUILDING CODE
OC ON CENTER

OHD OVERHEAD DOOR
PROJ. PROJECTION
P-T PRESSURE TREATED
R/W ROUNDED WITH
SG SLIDE GATE
T&G TONGUE AND GROOVE
TO TOP OF
TYP. TYPICAL
US UNDERSIDE
V VERTICAL
W WIDE
WWM WELDED WIRE MESH



DESIGN	TM	No.	REVISION DESCRIPTION	MM/DD/YY	CHKD
DRAWN	TM	1.	ISSUED FOR APPROVAL	11/28/22	MR
CHECKED	MR				
APPROVED	MR				
DATE	NOVEMBER 2022				

CONSULTANT

MR

ENGINEERING
AND DESIGN LTD.

CIVIL-COMMERCIAL-AGRICULTURAL

145 Thames Road, West, Unit 4, Exeter, ON, N0M 1S3
Telephone: (519)-317-5128
Email: admin@mrngdesign.com

CONTRACTOR

MR

70948 BLUEWATER HWY.
GRAND BEND, ON
N0M 1T0

LICENSED PROFESSIONAL ENGINEER

11/28/22

M. W. RUNGE

100162955

PROVINCE OF ONTARIO

70948 BLUEWATER HWY.
GRAND BEND, ON
N0M 1T0

HOME HARDWARE BUILDING CENTRE
YARD EXTENTION

STORMWATER CATCHMENT AREA PLANS

PROJECT No.
MR22-356


SHEET No.
C3

SCALE
As indicated

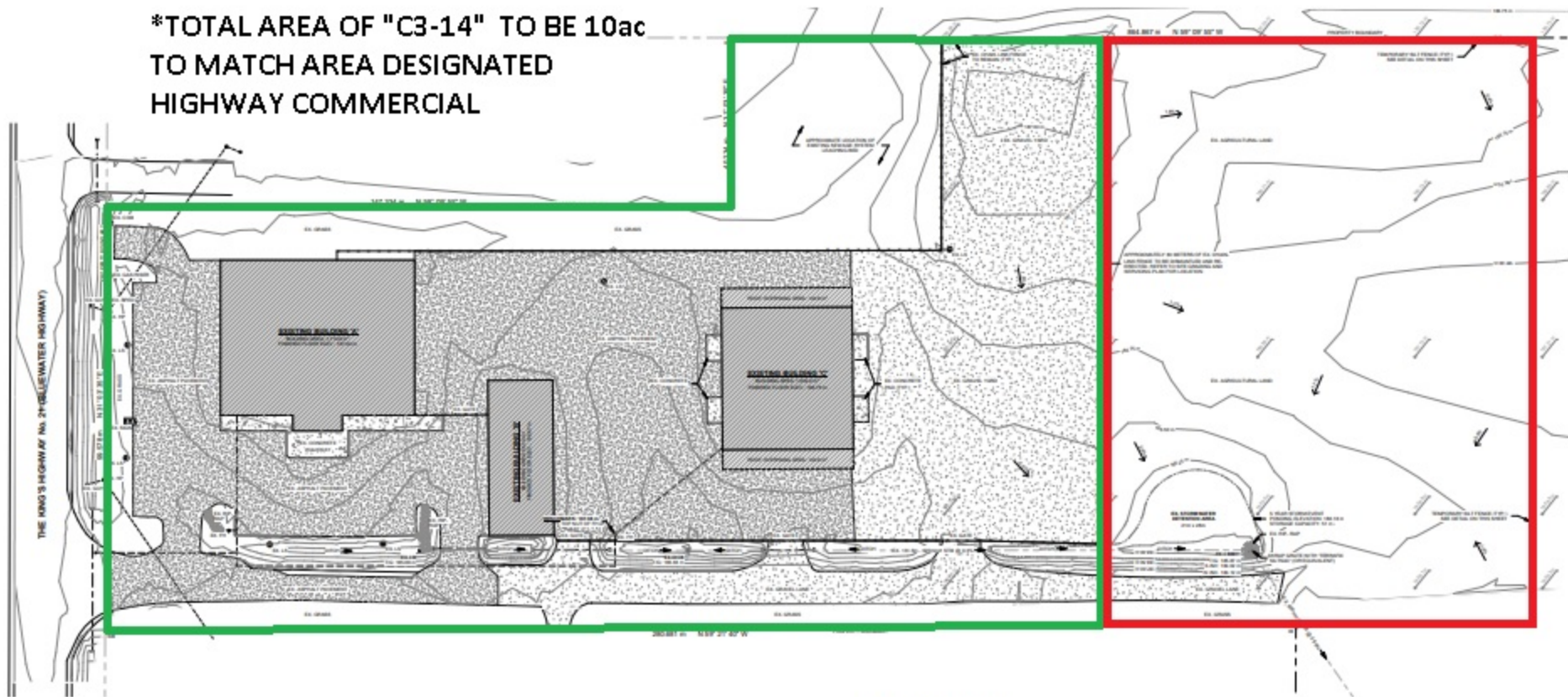
ZONING SKETCH



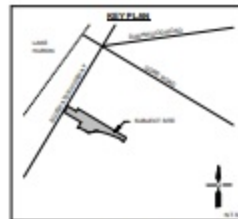
 AREA CURRENTLY ZONED "C3-14"

 AREA TO BE REZONED FROM
"AG1" TO "C3-14"

*TOTAL AREA OF "C3-14" TO BE 10ac
TO MATCH AREA DESIGNATED
HIGHWAY COMMERCIAL



1 EXISTING CONDITIONS PLAN
1 : 500



GRAPHING LIST

51. Existing conditions, materials and structure condition. Plans
52. Site grading and structural plans
53. Stormwater management and site plans

GENERAL NOTE

- [illegible]

© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 105–112

1. PROTECT AND ENHANCE SURFACES AND CONTROL SOIL SUSCEPTIBILITY TO EROSION. PROTECT AND ENHANCE SURFACES, MINIMIZE EROSION, AND SOIL LOSS AND PREVENT SUBSIDENCE OF SURFACES AND SOILS. A. EROSION CONTROL
2. CONTROL TOXICITY TO HUMANS AND ENVIRONMENTAL ORGANISMS. A. TOXICITY CONTROL
3. MINIMIZE AND MONITOR CONTAMINANTS. MINIMIZE AND MONITOR CONTAMINANTS TO THE DEGREE OF NATURAL AND BACKGROUND LEVELS. A. CONTAMINANT CONTROL
4. CONTROL TOXICITY TO HUMANS AND ENVIRONMENTAL ORGANISMS. A. TOXICITY CONTROL
5. MINIMIZE AND MONITOR CONTAMINANTS. MINIMIZE AND MONITOR CONTAMINANTS TO THE DEGREE OF NATURAL AND BACKGROUND LEVELS. A. CONTAMINANT CONTROL
6. MINIMIZE AND MONITOR CONTAMINANTS. MINIMIZE AND MONITOR CONTAMINANTS TO THE DEGREE OF NATURAL AND BACKGROUND LEVELS. A. CONTAMINANT CONTROL

PART LOT 8
LAKE ROAD EAST CONCESSION
IN THE UNINCORPORATED TOWNSHIP OF WILHELM
MUNICIPALITY OF SOUTH HURON
COUNTY OF HURON

- [illegible]

NOTES:

[illegible]

NORTH



DESIGN	NO.	REVISION DESCRIPTION	REVISION	DATE
DESIGN	NO.	1	REVISED FOR APPROVAL	11/28/22
CHECKED	NO.			
APPROVED	NO.			
DATE	NOVEMBER 2022			

CONSULTANT



140 Thurston Road, West, Lethbridge, Alberta, Canada T1K 1E2
Telephone: (403) 247-7328

CONTRACTOR

70948 BLUEWATER HWY.
GRAND BEND, ON
NOM 1 TO

HOME HARDWARE BUILDING CENTRE
YARD EXTENTION

EXISTING CONDITIONS, REMOVALS AND EROSION CONTROL PLAN

PROJECT No.

MR22.356

C1

SCALE



The Corporation of the Municipality of South Huron
322 Main Street South
Exeter, Ontario N0M 1S6
Southhuron.ca
519-235-0310

Public Meeting Notice

Your comments are welcome on Zoning By-Law Amendment Z02-2023

Date of Public Meeting: May 1st, 2023 at 5:00pm

A change is proposed in your neighbourhood:

The amendment changes the zoning of the lands proposed for the expansion of the Home Hardware Building Centre's lumber yard from AG1 (General Agriculture) to C3-14 (Highway Commercial – Special Provisions) to permit the lumber yard in this area and match the zoning of the rest of the lands used for the building centre.

This By-law amends Zoning By-law #69-2018 of the Municipality of South Huron.



This application was considered complete on March 27th, 2023

Owner: Home Hardware Stores Limited

Applicant: Patterson Planning Consultants Inc C/O Scott Patterson

Location: 70948 BLUEWATER HIGHWAY (CON LRE PT LOT 5 PT 2 22R232;SUBJT TO EASEMENT)

Dated at the Municipality of South Huron this 30th day of March, 2023

A handwritten signature in black ink, reading "Rebekah Msuya-Collison".

Rebekah Msuya-Collison
Clerk

If you rent your property to seven (7) or more tenants, please post a copy of this notice in a allocation on your property which is visible to all of the residents. The Municipality of South Huron is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternative formats or other accommodations, please contact the undersigned.

How to Access the Meeting

This meeting will be for both electronic and in-person. For those persons who wish to participate at the meeting, please contact the Planning Coordinator: planning@southhuron.ca (519-235-0310) no later than **4 p.m. on the date of the public meeting**. All Public meetings will be streamed live, available on the Municipality of South Huron's Agendas and Minutes webpage. The meeting will take place in Council Chambers, 322 Main Street South, Exeter.

Have Your Say

Persons wishing to participate in the planning process are strongly encouraged to send their comments, or concerns via email or mail to Craig Metzger, Planner at cmetzger@huroncounty.ca or to Vanessa Culbert, Planning Coordinator at planning@southhuron.ca. Written comments may also be hand delivered or mailed to the Municipal Office: 322 Main Street South, Exeter, ON, N0M 1S6, Attention: Vanessa Culbert. Oral comments may also be expressed at the meeting.

Please note that comments and opinions submitted on these matters, including the originator's name and address, become part of the public record and may be viewed by the general public and maybe published in a Planning Report, Council Agenda or Council Minutes

Know Your Rights

If a person or public body does not make oral submissions at a public meeting or make written submissions to Municipality of South Huron before the by-law is passed, the person or public body is not entitled to appeal the decision of the Municipality of South Huron to the Ontario Land Tribunal. If a person or public body does not make oral submissions at a public meeting or make written submissions to the Municipality of South Huron before the proposed amendment is adopted or approved, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party

Stay in the Loop

If you have any inquires or questions about the application, please contact the Planner.

If you wish to be notified of the decision of the Municipality of South Huron on the proposed zoning by-law amendment, you must make a written request to the Municipality of South Huron at 322 Main Street South, Exeter, ON, N0M 1S6, Attention: Vanessa Culbert or by email at planning@southhuron.ca. You can also subscribe by scanning the QR code and entering your information. Updates on this application may also be posted on Southhuron.ca



Planner on this File:

Craig Metzger, Senior Planner
cmetzger@huroncounty.ca
1-888-524-8394 ext. 3235

Municipal Contact:

Vanessa Culbert, Planning Coordinator
planning@southhuron.ca
519-235-0310 ext. 252



NOTICE OF PLANNING APPLICATION
UNDER THE PLANNING ACT, R.S.O. 1990

A change is proposed at this site
The amendment changes the zoning of the lands proposed for the expansion of the Home Hardware Building Centre's lumber yard from AG1 (General Agriculture) to C3-34 (Highway Commercial - Special Provisions) to permit the lumber yard in this area and match the zoning of the rest of the lands used for the building centre.
This By-law amends Zoning By-law #69-2018 of the Municipality of South Huron.
More information about this application may be posted at southhuron.ca

Applicant: Patterson Planning Consultants INC.
Owner: Home Hardware Stores Limited
70948 Bluewater Highway
Erie, ON N2G 2G2

Have Your Say & Learn More
For more information about this matter, including information about appeal rights, contact: 519-235-0330 | Planning@southhuron.ca

Public Meeting
You are invited to participate in a Public Meeting on May 1st, 2023 at 5:00 pm. For those persons who wish to participate, please contact planning@southhuron.ca or 519-235-0330

SCAN ME



Home hardware

building centre

CHECK OUT OUR INVENTORY OF IN STOCK FLOORING

Ministry of Transportation

West Operations
Corridor Management Section West

659 Exeter Road
London, Ontario N6E 1L3
Telephone: (519) 379-4397
Facsimile: (519) 873-4228

Ministère des Transports

Opérations ouest
Section de la gestion des couloirs routiers de l'Ouest

659, chemin Exeter
London (Ontario) N6E 1L3
Téléphone: (519) 379-4397
Télécopieur: (519) 873-4228



April 26, 2023

Ms. Vanesa Culbert
Planning Coordinator
Municipality of South Huron
PO Box 759, 322 Main Street South
Exeter, Ontario, Canada, N0M 1S6

By e-mail: vculbert@southhuron.ca

RE: Zoning By-Law Amendment Z02-2023

The Ministry of Transportation (MTO) has completed a review of the proposed zoning by-law amendment. The proposed amendment would change the zoning of the lands proposed for the expansion of the Home Hardware Building Centre's lumber yard from AG1 (General Agriculture) to C3-14 (Highway Commercial – Special Provisions) to permit the lumber yard in this area and match the zoning of the rest of the lands used for the building centre.

The proposal has been considered in accordance with the requirements of the Public Transportation and Highway Improvement Act, MTO's Highway Access Management Guidelines and all related policies. The following outlines MTO's comments.

The subject property is located adjacent to Highway 21, is within MTO's Permit Control Area (PCA), and as such, MTO permits are required before any demolition, grading, construction or alteration to the site commences.

Highway 21 at this location is classified as a 2B Arterial in MTO's Access Management Classification System. As such, all requirements, guidelines and best practices in accordance with this classification shall apply.

MTO are supportive of the proposed zoning by-law amendment. The following are MTO's comments with respect to the amendment to the executed site plan agreement.

Building and Land Use

The Proponent shall submit an acceptable Site Plan, Grading Plan, Drainage Plan and Site Servicing Plan for MTO review and approval. These plans shall clearly identify all structures/works and parking (existing and proposed).

MTO requires all buildings, structures and features integral to the site to be located a minimum of 14 metres from the highway property limit, inclusive of landscaping features, fire-lanes, parking and storm water management facilities

Storm Water Management

The grading/drainage plans shall identify any storm drain infrastructure including - outlets, swales, tiles, direction of flow, etc. A Storm Water Management Report may be required for MTO review and approval.

The applicant should be directed to MTO's Stormwater Management Requirements for Land Development Proposals using the following link:

[Stormwater Management Planning and Design Manual | Ontario.ca](#)

Access & Traffic Impact Review

The submission of a Traffic Impact Study (TIS) or Traffic Brief/Memo may be required. The TIS shall assess any potential impacts to the highway by the anticipated development traffic. The TIS shall identify any highway improvements necessitated by the development and shall be completed by a Registry, Appraisal and Qualification System (RAQS) approved traffic consultant and in accordance with MTO's TIS guidelines (attached).

Note that the cost of the TIS and any highway improvements as a result of the development are the financial responsibility of the developer.

The developer shall contact MTO prior to the commencement of the Traffic Impact Study to discuss a Terms of Reference.

Signs

Any/all signage visible from Highway 21, including temporary development signs, must be identified on the plans, must conform to MTO policies and guidelines, and will require a valid MTO Sign Permit before installation.

Encroachments

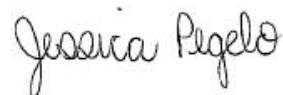
Any encroachments and works identified within the Highway 21 property limits are subject to MTO conditions, approval and permits, prior to construction. All provincial highway property encroachments are strictly regulated and must meet all conditions set out by MTO.

General Comments

MTO looks forward to the advancement of this development, and we anticipate receiving additional details for review and comment as the project progresses.

Please feel free to contact me directly should you have any questions or concerns.

Sincerely,



Jessica Pegelo
Corridor Management Planner
Operations West

c. Joanne Moyes, MTO Corridor Management Officer